



**VILLAGE OF VOLENTE, TEXAS**

**AGENDA**

**Planning & Zoning Special Called Meeting & Public Hearing  
5:30 P.M., Monday August 31, 2020  
Volente City Hall, 16100 Wharf Cove, Volente, Texas 78641**

**PLEASE SILENCE OR TURN OFF ALL MOBILE DEVICES**

This meeting will be conducted utilizing a videoconferencing tool. City Council members, staff and citizens will participate via audio only. Instructions and direct links to view the meeting or speak during citizens comment can be found at [villageofvolente-tx.gov](http://villageofvolente-tx.gov) and Nextdoor. Zoom:+1346 248 7799 Meeting ID: 763 3912006 Password: 7B6qDk  
The virtual conference meeting will start approximately 15 minutes prior to the meeting which will begin at 5:15 p.m.

**I. ITEMS OPENING THE MEETING**

- A. Call to Order
- B. Call Roll and Establish Quorum

**II. CITIZEN COMMENTS** All Public Comments submitted in accordance with the procedures outlined in the instructions above will be included in the record for this meeting. Any item that is not on the agenda. Comments Only.

**III. GENERAL BUSINESS AND ACTION ITEMS**

A. Discussion and possible action for a request by Ken Beck, on behalf of Thistle Dew Ranch for a Variance in accordance with Village of Volente Code of Ordinances 2009-0-103, Section 9.05.115, (Cut & Fill) to exceed 5' maximum allowed at the location (15502 Mary Street) Lot 1, Thistle Dew Ranch Subdivision, sur 10.23 acres.

1) Presentation: Ken Beck

2) Council Discussion:

3) Open Discussion:

4) Council Deliberation:

**MOTION:**

**2ND:**

*Pg1*

B. Discussion and possible action for a request by Ken Beck, on behalf of Thistle Dew Ranch for a Variance in accordance with Village of Volente Code of Ordinances 2004-O-36, Section 33.340, (Slope Limits) no construction or land disturbing activities shall be permitted on natural grades with slopes 25% or steeper at the location (15502 Mary Street) Lot 1, Thistle Dew Ranch Subdivision, sur 10.23 acres.

1) Presentation: Ken Beck

2. Council Discussion:

3. Open Discussion:

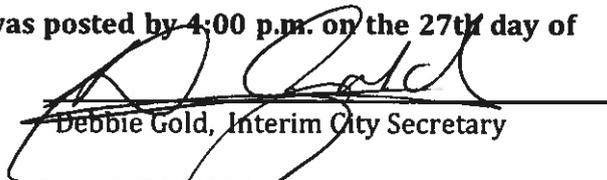
4. Council Deliberation:

**MOTION:**

**2ND:**

**VI. ADJOURNMENT**

**IT IS HEREBY CERTIFIED** that the above Agenda was posted by 4:00 p.m. on the 27<sup>th</sup> day of August, 2020.

  
Debbie Gold, Interim City Secretary

*There may be the possibility of a quorum between the City Council, BOA, P&Z.  
The Village of Volente is committed to compliance with the Americans with Disabilities Act (ADA).  
Reasonable accommodations and equal access to communications will be provided to those who  
provide notice to the City Secretary at (512) 250-2075 at least 48 hours in advance.*

## **VILLAGE OF VOLENTE NOTICE OF PUBLIC MEETING AND HEARING**

Notice is hereby given that the Village of Volente located VoV City Hall 16100 Wharf Cove, Volente, TX 78641. The Planning and Zoning Commission will hold on Monday August 31, 2020 @ 5:30PM a Special Called Meeting and Public Hearing via Zoom.

**Zoom:** +1 346 248 7799 **Meeting ID:** 763 391 2006 **Password:** 7B6qDk

[Click blue link, click open link](#)

<https://us02web.zoom.us/j/7633912006?pwd=bnIweG5kU0R0WllrQklydVY0a1R0dz09>

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To consider the following:

A request by Ken Beck, Thistle Dew Ranch for a Variance in accordance with Village of Volente Code of Ordinances 2009-O-103, Section 9.05.115, (Cut & Fill) to exceed 5' maximum allowed at the location (15502 Mary Street) Lot 1, Thistle Dew Ranch Subdivision, sur 10.23 acres.

A request By Ken Beck, Thistle Dew Ranch for a Variance in accordance with Village of Volente Code of Ordinances 2004-O-36, Section 33.340 (Slope Limits) no construction or land disturbing activities shall be permitted on natural grades with slopes 25% or steeper at the location (15502 Mary Street) Lot 1, Thistle Dew Ranch Subdivision, sur 10.23 acres.

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Planning and Zoning and City Council meetings will begin at 5:30pm on their prospective dates as noted above.

VILLAGE OF VOLENTE

VARIANCE APPLICATION FORM

Date of Submission: 7/24/20

APPLICANT/OWNER INFORMATION

Applicant Kenneth H. Beck

Address 15911 Booth Cir., Volente, Tx 78641

Phone 512-917-5188 Fax \_\_\_\_\_ Email kbeck@thecypresscove.com

Applicants Status: (check one)  Owner \_\_\_\_\_ Tenant \_\_\_\_\_ Contractor \_\_\_\_\_  
*Owner must sign the application or submit a notarized letter of authorization*

Owner: Thistle Dew Ranch LLC

Address: 15502 MARY ST., Volente, Tx 78641

Phone 512-917-5188 Fax \_\_\_\_\_ Email same

Ownership: (check one)  Individual  Partnership  Corporation  Other \_\_\_\_\_  
*If ownership is a trust, partnership, corporation, or other legal entity, the applicant must name the partners or principals on a separate attachment.*

PROPERTY DESCRIPTION

Acreage: 10.23 acres

Physical Address: 15502 MARY ST.

Legal Description: (attach map of area also if available)

Lot(s): Lot 1 Block(s): \_\_\_\_\_

Subdivision: Thistle Dew Ranch Addition: \_\_\_\_\_  
306 DIVISION

Existing Use of Property: Zoned SFR

No structures have ever been built on this land.

VILLAGE OF VOLENTE

VARIANCE DESCRIPTION

Applicable Regulation(s): \_\_\_\_\_

Project Description: Construction of two SFR homes,  
a barn, an arena for horses, and necessary driveways.

Variance Sought: 1) to allow limited road construction on slopes  $> 25^\circ$ ,  
2) to allow cut and fill  $> 5'$

Justification(s): The entire lot slopes from the top of hill to the  
bottom drainage that eventually hits gun holes. This is  
to allow fair residential use of the lot.

Special Condition(s): Site plan will show building sites and  
road/driveway path have been selected to minimize  
any construction on steep slopes

Project Timeline: land was purchased in Jan. 2019. Tree  
cutting permit was granted in April 2019. Site devel. will start  
immed.

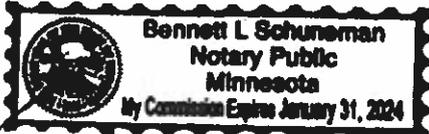
Attachments: Slope map for entire lot. Site plan  
and grading plan for entire lot. (TDI-LLC Engineering  
Lot survey (Chuck WALKER surveying)  
(e.g., construction drawings, site plan, survey, photographs, list of names and  
addresses for all property owners within 500 feet of the footprint of the structure for  
which a variance is sought.)

VILLAGE OF VOLENTE

SWORN AFFIRMATION

SUDCRIBED AND SWORN TO BEFORE ME on July 24, 2020, by

Kenneth Howard Beck, who is the applicant for a variance as described above, and on whose oath certifies that the above statements are true and correct to the best of the applicant's knowledge.



Bennett L. Schuneman State of Minnesota  
Notary Public, State of ~~Texas~~ MINN.

My Commission expires: \_\_\_\_\_

Kenneth H. Beck

If the owner of the subject property is not the applicant, by signing below, the owner authorizes the applicant or his authorized representative to make this application on its behalf and to appear before the Village Council.

Owner

Date

SUBSCRIBED AND SWORN TO BEFORE ME on \_\_\_\_\_, 20\_\_ by,

\_\_\_\_\_, who is the owner of the property for which a variance is sought, and on whose oath certifies that the above statements are true and correct to the best of the owners knowledge.

\_\_\_\_\_  
Notary Public, State of Texas

My Commission expires: \_\_\_\_\_

Bank of America

**KENNETH H BECK**  
**JOYCE L BECK**  
15911 BOOTH CIR  
VOLLENTE, TX 78641-9879

4513

35-21130 TX  
17256

Aug 27, 2020

Date

\$1200<sup>00</sup>

Dollars



Pay to the order of **Village of Volente**  
**Inventory** **Business** **Personal** **or** **no / 000**

ACH RTR 17 Journeys



**Bank of America**

**12 Months Deposit**  
**Journal, K Bond**

1130000231 00570003 215844513

**Sec. 9.05.115 Cut and fill**

(a) Land balancing.

(1) All cut and fill land balancing shall be limited to a maximum of five feet (5'), except as modified in subsection (c) below.

(2) Retaining walls shall not exceed one foot (1') above the material being retained within the front setbacks.

(3) Retaining walls over five feet (5') in height shall be detailed in the site development plan. Deferred submittals for retaining walls over five feet (5') are not allowed.

(b) Detention and water quality ponds.

(1) There are no cut or fill limitations for the construction of water quality basins and stormwater detention ponds.

(2) The developer shall provide to the village proof of compliance with state dam safety regulations for all "dams" as defined and as regulated in the Texas Administrative Code, title 30, chapter 299.

(c) Streets and rights-of-way. All cut and fill for the construction of streets and rights-of-way shall be limited to ten feet (10').

(d) Spoils disposal.

(1) No fill shall be placed on any lot prior to the issuance of a site development permit and/or a nonpoint source pollution control permit.

(2) Temporary spoils on sites identified on construction drawings and approved by the village shall be removed prior to the issuance of a certificate of acceptance for the associated construction project. Maximum height of temporary spoils piles shall not exceed ten feet (10'). Spoils that remain on the site at the expiration of the site development permit are subject to removal by the village at the owner's expense.

(3) Prior to removal of spoils from a site, the developer shall notify the village as to the destination of the spoils.

(Ordinance 2004-O-36, sec. 33.341, adopted 10/26/04; Ordinance 2009-O-103 adopted 7/21/09)

**Sec. 9.05.114 Slope limits**

- (a) No construction or land disturbing activities shall be permitted on natural grades with slopes of twenty-five percent (25%) or steeper.
- (b) No roadways or driveways shall be constructed on natural grades with slopes steeper than fifteen percent (15%) unless approved by both the village council and the Volente volunteer fire department, or its successor.
- (c) All finish or final grading on slopes three to one (3:1) and steeper shall be stabilized by techniques approved by the village.
- (d) Erosion control matting shall be installed on all disturbed areas with a finished grade of four to one (4:1) or steeper.

(Ordinance 2004-O-36, sec. 33.340, adopted 10/26/04; Ordinance 2008-O-94 adopted 6/17/08)

**VILLAGE OF VOLENTE**

**PUBLIC NOTICE OF A VARIANCE APPLICATION WITHIN**

**200 FEET OF YOUR PROPERTY**

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Zoom: +1 346 248 7799 Meeting ID: 763 391 2006 Password: 7B6qDk (click link, click open link)

<https://us02web.zoom.us/j/7633912006?pwd=bn1weG5kU0R0WllrQkJKYdVY0a1R0dz09>

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 Street, Apt. No., or PO Box No. P.O. Box 310  
 City, State, ZIP+4 BASTROP TX 78602-0310

PS Form 3800, August 2006 See Reverse for Instructions

7014 0150 0002 0987 2978

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 08/17/2020

Sent To: LAURA DYRE JACKSON  
 Street, Apt. No., or PO Box No. PO BOX 130883  
 City, State, ZIP+4 HOUSTON TX 77219-0883

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instruction

7019 1640 0000 8792 2604

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 AUG 17 2020  
 08/17/2020

Sent To: JAN Venawine  
 Street, Apt. No., or PO Box No. 1500 Fm 2769  
 City, State, ZIP+4 Volente TX 78641-9101

PS Form 3800, August 2006 See Reverse for Instructions

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0613 18  
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 AUG 17 2020  
 08/17/2020

Sent To: Denota Investments LLC  
 Street, Apt. No., or PO Box No. 9311 N. Fm 620 #254  
 City, State, ZIP+4 AUSTIN TX 78726

PS Form 3800, August 2006 See Reverse for Instructions

7014 0150 0002 0987 3005

Product	Qty	Unit Price	Price
First-Class Mail® 1 Letter	1	\$0.55	\$0.55
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Estimated Delivery Date			
Thursday 08/20/2020			
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USPS Certified Mail # 70140150000209873005			
<b>Return Receipt</b>			\$2.85
USPS Return Receipt # 959C940251269092771461			
<b>Total</b>			\$6.95
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Houston, TX 77219			
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USPS Certified Mail # 7015164000087922604			
<b>Return Receipt</b>			\$2.85
USPS Return Receipt # 959C940251269092771492			
<b>Total</b>			\$6.95
<b>First-Class Mail® 1 Letter</b>	1	\$0.55	\$0.55
Bastrop, TX 78602			
Weight: 0 Lb 0.90 Oz			
Estimated Delivery Date			
Thursday 08/20/2020			
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USPS Certified Mail # 70140150000209872978			
<b>Return Receipt</b>			\$2.85
USPS Return Receipt # 959C940251269092771386			
<b>Total</b>			\$6.95
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Leander, TX 78641			
Weight: 0 Lb 0.90 Oz			
Estimated Delivery Date			
Thursday 08/20/2020			
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<b>Return Receipt</b>			\$2.85
USPS Return Receipt # 959C940251269092771478			
<b>Total</b>			\$6.95
<b>Grand Total:</b>			\$27.80

10:20 AM

0001174620

## Public Hearing Notification Properties – 15502 Mary St, Volente

1. Property ID 170926
  - a. Laura Dyke Jackson, P.O. Box 130883, Houston, TX 77219-0883
2. Property ID 565921
  - a. L2ENTHC, LLC, 710 Lorena Ridge Ln, SugarLand, TX 77479-5812
  - b. This may now belong to Travis Cnty as part of the BCP, but the record has not been updated
3. Property 172943
  - a. Libby M Davis Family Trust, 1543<sup>2</sup> FM 2769, Volente, TX 78641-9150
4. Properties 71320, 71321, 71322
  - a. George Family Partnership Trust, P.O. Box 310, Bastrop, TX 78602-0310
5. Property ID 172980
  - a. Jan Yenawine, 15600 FM 2769, Volente, TX 78641-9101
6. Property ID 172981
  - a. Brian Frank George, Exempt Family Trust, P.O. Box 310, Bastrop, TX 78602-0310

\*Notices mailed on December 17, 2018

Denala Investments LLC  
2311 h. pm 620 #254  
Austin TX 78766



February 1, 2019

Tom Schmitt  
15502 Mary Street  
Volente, TX 78641

Village of Volente  
11601 Wharf Cove  
Volente, TX 78641

**Re: Application for Conditional Use Permit for 15502 Mary Street**

After review by Planning and Zoning on January 8, 2019, and review and vote by Village Council on January 15, 2019, this Conditional Use Permit is granted to Tom Schmitt, owner of the property at 15502 Mary Street, Volente, TX 78641 with the following provisions:

1. **Permission is granted for up to 8 (eight) horses and or donkeys to be kept on this property.**
2. **This Conditional Use Permit will TRANSFER "as is" with the purchase of this property by, Thistle Dew Ranch LLC, owned by Gwen and Dean Collmann, and Ken and Joyce Beck.**
3. **During the development and construction permitting process, plans must be submitted and approved for effective mitigation and control of run-off from the property into the drainage draw that merges with the Gun Hollow draw at the edge of Highway 2769, Gun Hollow draw having been designated as "Waters of the U.S."**

Regards,

Mayor Pro Team Wilder, Village of Volente

cc: Thistle Dew Ranch LLC  
Gwen and Dean Collmann  
Ken and Joyce Beck



VILLAGE  
OF  
VOLENTE

**May 22, 2020**

Thistle Dew Ranch  
15502 Mary Street  
Village of Volente

**Re: Site Plan Review  
15502 Mary Street**

Dear Mr. Beck:

The comments are based on the site plan submittal dated: May 5, 2020.

- Per Sec. 9.05.356 Street and alley improvements, the developer shall be required to design and construct a reasonable portion of the roadway adjacent to the development. Please review this section of the code and contact the City or this reviewer to discuss.
- The construction of all public improvements, whether publicly owned or privately owned, shall comply with the technical construction requirements of the latest editions of the City of Austin Transportation Criteria Manual.
- Please clearly define how the roadway will tie to the existing roadway and how the roadway will terminate. There are no grades shown at either location.
- Please provide a cross-section of the proposed drive located in the ROW.
- Please establish grades for the retaining walls shown on the grading plan. Note: A wall greater than 4-feet from the footing must be designed by a structural engineer. Also, cut and fill greater than 5-feet requires a variance.
- Please show how the grading for the driveway will tie to existing grades, please note: erosion control matting shall be installed on all disturbed areas with a finished grade of four to one (4:1) or steeper.
- The water quality plan states a 3-foot wide and 8-foot deep infiltration stone level spreader. Please provide grading along the level spreader to more clearly define the intent of the design or add another detail to the plan. Walls greater than 4-feet will need to be designed by a structural engineer.
- Per Sec. 9.05.066 all areas within the limits of construction of slope greater than 15% or where fill in excess of four feet will be utilized. Include engineer's report on foundation design, retaining wall design, and geotechnical analysis and requirements for assuring fill appropriateness and stability.
- The P2 drainage area time of concentration (TOC) line makes two 90 degree turns, however the grading plan doesn't reflect any grading changes, please update the TOC and drainage calcs to reflect an accurate flow pattern and flowrate.



VILLAGE  
OF  
VOLENTE

- Please add a rock berm at the concentrated flow through the site. It appears approximately 30 acres flow through and adjacent to the arena area. Add the following E&S Details: tree protection, rock berm and stabilized construction entrance to the plans.
- Please define the driveway material and type as dip style or if culverts are proposed from the Mary Street ROW. Add the driveway detail to the plans.
- Please show the location of the mailbox.

Release of this application does not constitute a verification of all data, information, and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not the application is reviewed for code compliance by the Village of Volente.

If you have any questions or need any additional information please feel free to call or email me at 512.297.8651 or [marc.dickey@gmail.com](mailto:marc.dickey@gmail.com).

Thank you,

A handwritten signature in black ink, appearing to read 'Marc Dickey', written over the printed name.

Marc Dickey





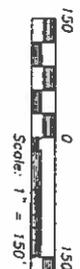
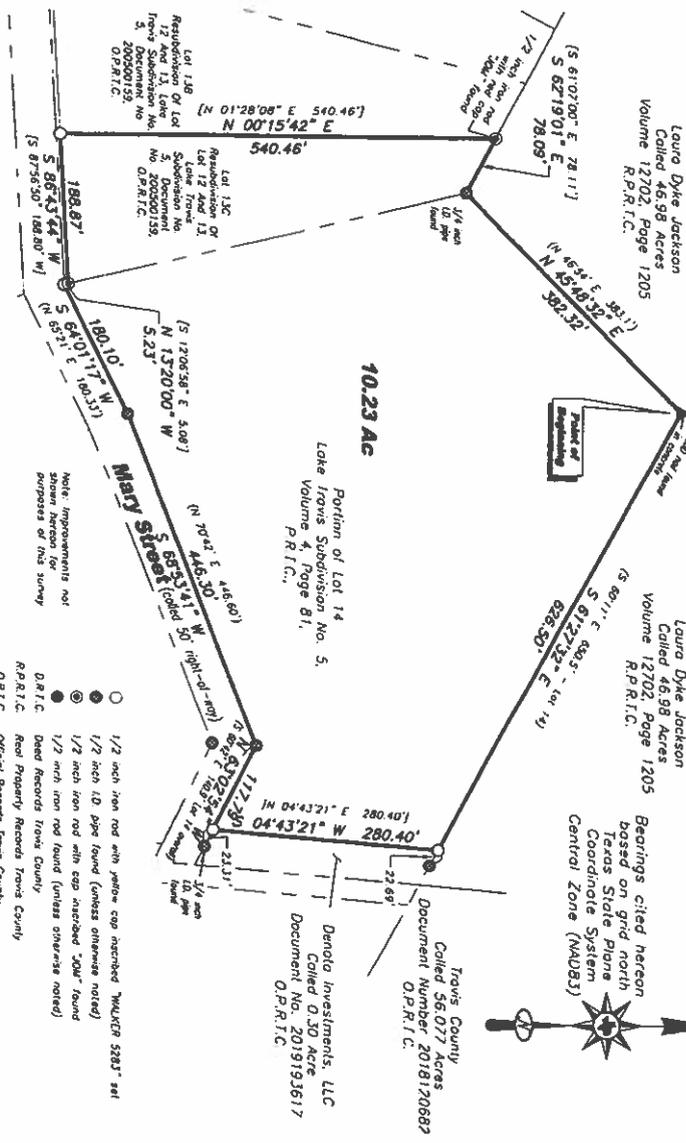
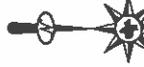


# Boundary Survey Thistle Dew Ranch

Laura Dye Jackson  
Called 46.98 Acres  
Volume 12702, Page 1205  
R.P.R.T.C.

Laura Dye Jackson  
Called 46.98 Acres  
Volume 12702, Page 1205  
R.P.R.T.C.

Bearings cited hereon  
based on grid north  
Texas State Plane  
Coordinate System  
Central Zone (NAD83)



- 1/2 inch iron rod with yellow cap marked 'WALKER 5253' set
  - 1/2 inch iron rod (unless otherwise noted)
  - 1/2 inch iron rod with cap marked '300\"/>
- Note: Improvements not shown hereon for purposes of this survey
- R.P.R.T.C. Real Property Records Travis County  
 ○ O.R.T.C. Official Records Travis County  
 ○ P.R.T.C. Plat Records Travis County  
 ○ O.P.R.T.C. Official Public Records Travis County  
 [xxxxx] Denotes record date per Volume 4, Page 81, P.R.T.C.  
 [xxxxx] Denotes record date per Doc. No. 200500139 O.P.R.T.C.  
 [xxxxx] Denotes record date per Doc. No. 2019193617 O.P.R.T.C.

Acknowledged on the 24 day of January, 2020.

*Jana Poca*  
Jana Poca, Mayor  
Village of Volente

RECEIVED: Nanette's Akimlye DAK: 1/24/2020

0151 Rev. 1\Survey\PROD\031000-389 MOD\380-3991510001 REV 03/10/2019\0001.LDR\SP\00L11717\_202001\1205 January 22, 2020 12:13

Each and every On-Site Sewage Facility installed within this subdivision must be permitted, inspected and approved for operation under those terms, standards and requirements of the Texas Commission on Environmental Quality and Lower Colorado River Authority as are in effect at the time such applications for permits are made. These lots may require professionally designed wastewater disposal systems due to topographical, geological and watershed considerations.

LORA DSSF Representative  
*Lora DSSF*  
1/24/2020  
0500 30050

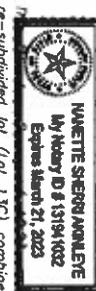
KJB Investments II, LLC, doing business as Thistle Dew Ranch LLC, is the owner of the 10.23 acre Lot shown hereon consisting of: (1) Lot 13C, Resubdivision of Lot 12 and 13, Lake Travis Subdivision No. 5, according to the map or plat thereof, recorded in Document No. 200500159, Official Public Records, Travis County, Texas; and (2) a portion of Lot 14, Lake Travis Subdivision No. 5, as recorded in Volume 4, Page 81, Plat Records of Travis County, Texas, said tracts described in Volume 4, Page 81, Plat Records of Travis County, Texas, said tracts described in Volume 4, Page 81, Plat Records of Travis County, Texas, said tracts described in Volume 4, Page 81, Plat Records of Travis County, Texas, said tracts described in Volume 4, Page 81, Plat Records of Travis County, Texas.

*Ryan K Burt*  
KJB Investment II, LLC  
1/23/20  
1591 Booth Circle  
Volente, TX 78641

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State on this 24 day of January, 2020, personally appeared, Nanette's Akimlye, to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under My Hand and Seal of Office this the 23 day of January, 2020 A.D.

*Nanette's Akimlye*  
Notary Public STATE OF TEXAS  
My Commission Expires March 21, 2023



re-subdivided lot (Lot 13C) combined with a portion of another previously platted lot (Lot 14), per TBPELS Board Rule §663.6(2), the tract of land as described hereon may be subject to statutory requirements that pertain to and affect the development of said tract. This Boundary Survey, as requested by the client, is not intended to be used in violation of said statutory requirements. Easements and restrictions not shown hereon may apply. This document represents a survey made on the ground of the property described hereon. Surveyed under the direction and supervision of the undersigned:

*Brett A. Butts*  
Brett A. Butts  
RPLS 6254  
date of field survey September 22, 2019





**WALKER**  
TEXAS SURVEYORS

P.O. Box 134  
Cedar Park, Texas 78613-0134  
Phone (512) 258-3361  
TBPELS Firm #10103800  
Job #340001

Sheet 3 of 3  
(field notes attached)



P. O. Box 324  
 Cedar Park, Texas 78630-0324  
 (512) 259-3361 Phone  
 TBPELS Firm Number 10103800

PERIMETER DESCRIPTION OF A 10.23 ACRE TRACT OF LAND CONSISTING OF THE FOLLOWING TWO TRACTS: (1) ALL OF LOT 13C, RESUBDIVISION OF LOT 12 AND 13, LAKE TRAVIS SUBDIVISION NO. 5, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN DOCUMENT NO. 200500159, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS; AND (2) A PORTION OF LOT 14, LAKE TRAVIS SUBDIVISION NO. 5, AS RECORDED IN VOLUME 4, PAGE 81, PLAT RECORDS OF TRAVIS COUNTY, TEXAS; SAID 10.23 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**BEGINNING** at an 80D nail found in concrete for the most northerly corner of said Lot 14 and this tract, same being an interior corner in the called southeasterly line of that certain tract described as 46.98 acres in a Partition Deed to Laura Dyke Jackson dated May 29, 1996 and recorded in Volume 12702, Page 1205 of the Real Property Records of Travis County, Texas;

**THENCE:** S 61°27'32" E 626.50 feet (record call: S 60°11' E 650.5 feet overall for Lot 14 – Vol. 4, Pg.81) with the northeasterly line of said Lot 14, and with the called southeasterly line of said 46.98 acre Jackson tract to a 1/2 inch iron rod with yellow cap inscribed "Walker 5283" set for the northeast corner of this tract, same being the northwest corner of that certain tract described as 0.30 acres in a Special Warranty Deed to Denota Investments, LLC dated December 10, 2019 and recorded as Document Number 2019193617 of said official public records; for reference a 1/2 inch iron pipe found for the northeast corner of said Lot 14 bears S 61°27'32" E 22.69 feet;

**THENCE:** S 04°43'21" W 280.40 feet (record call: N 04°43'21" E 280.40 feet – Doc. No. 2019193617) into and across said Lot 14, with the west line of said 0.30 acre Denota tract to a 1/2 inch iron rod with yellow cap inscribed "Walker 5283" set in the north line of Mary Street (roadway not built) for the southwest corner of said 0.30 acre Denota tract, and for the southeast corner of this tract; for reference a 3/4 inch iron pipe found for the southeast corner of said Lot 14 bears S 63°02'54" E 23.31 feet;

**THENCE:** with the north line of said Mary Street, and with the south line of said Lot 14 and this tract the following three (3) courses:

1. N 63°02'54" W 117.79 feet (record call: S 60°42' E 140.9 feet overall for Lot 14 – Vol. 4, Pg. 81) to a 1/2 inch iron pipe found,
2. S 68°53'41" W 446.30 feet (record call: N 70°42' E 446.60 feet – Vol. 4, Pg. 81) to a 1/2 inch iron pipe found,
3. S 64°01'17" W 180.10 feet (record call: N 65°21' E 180.33 feet – Vol. 4, Pg. 81) to a 1/2 inch iron rod with yellow cap inscribed "Walker 5283" set for the southwest corner of said Lot 14, same being the southeast corner of a called 5' right-of-way dedication as depicted on said Resubdivision of Lot 12 and 13 (200500159);

**THENCE:** N 13°20'00" W 5.23 feet (record call: S 12°06'58" E 5.08 feet – Doc. No. 200500159) with the west line of said Lot 14, and with the east line of said 5' right-of-way dedication to a 1/2 inch iron rod with red cap inscribed "JOM" found for the southeast corner of said Lot 13C;

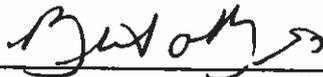
**THENCE:** S 86°43'44" W 188.87 feet (record call: S 87°56'50" W 188.80 feet – Doc. No. 200500159) with the south line of said Lot 13C, same being the north line of said 5' right-of-way dedication to a 1/2 inch iron rod with yellow cap inscribed "Walker 5283" set for the southwest corner of said Lot 13C, for the southwest corner of this tract, and for the southeast corner of Lot 13B of said Resubdivision (200500159);

**THENCE:** N 00°15'42" E 540.46 feet (record call: N 01°28'08" E 540.46 feet – Doc. No. 200500159) with the west line of said Lot 13C and this tract to a 1/2 inch iron rod with red cap inscribed "JOM" found in the called southeasterly line of said 46.98 acre Jackson tract, for the northwest corner of said Lot 13C and this tract;

**THENCE:** with the called southeasterly line of said 46.98 acre Jackson tract, and with the northwest line of this tract the following two (2) courses:

1. S 62°19'01" E 78.09 feet (record call: S 61°07'00" E 78.11 feet – Doc. No. 200500159) with the north line of said Lot 13C to a 3/4 inch iron pipe found for the most westerly corner of said Lot 14, for the northeast corner of said Lot 13C, and for a southerly corner of said 46.98 acre Jackson tract,
2. N 45°48'32" E 382.32 feet (record call: N 46°54' E 383.1 feet – Vol. 4, Pg. 81) with the northwest line of said Lot 14 to the Point of Beginning.

Bearings cited hereon based on grid north Texas State Plane Coordinate System Central Zone (NAD83). Per TBPELS Board Rule §663.8(2), the tract of land as described hereon may be subject to statutory requirements that pertain to and affect the development of said tract. This Boundary Survey, as requested by the client, is not intended to be used in violation of said statutory requirements. Easements and restrictions not shown hereon may apply. This document represents a survey made on the ground of the property described hereon. Surveyed under the direction and supervision of the undersigned:



Brett A. Butts

R.P.L.S. Number 6254

Date of Field Survey: September 27, 2019





# SITE DEVELOPMENT PLANS FOR:

## THISTLE DEW RANCH

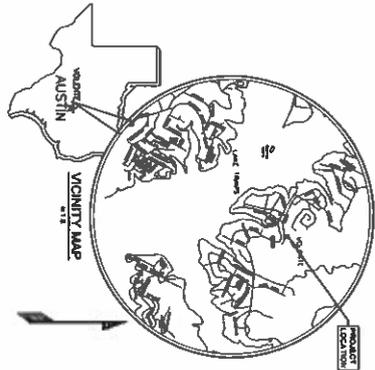
15502 MARY STREET  
 VOLENTE, TEXAS 78641

OWNER: THISTLE DEW RANCH, LLC  
 CONTACT: JOHN BUCK

CONTRACT # 2019-001

DATE: 5/14/2020

THIS DOCUMENT IS THE PROPERTY OF TDI ENGINEERING, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE, REPRODUCTION, OR DISTRIBUTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF TDI ENGINEERING, LLC IS STRICTLY PROHIBITED. THE USER OF THIS DOCUMENT ASSUMES ALL LIABILITY FOR ANY ERRORS, OMISSIONS, OR INADEQUACIES IN THE INFORMATION CONTAINED HEREIN. TDI ENGINEERING, LLC DOES NOT WARRANT THE ACCURACY OR COMPLETENESS OF THE INFORMATION CONTAINED HEREIN, AND IT IS ADVISED THAT THERE MAY BE OTHER SOURCES OF SUCH INFORMATION.



SHEET NUMBER	SHEET LIST	SHEET TITLE
1	COVER	
2	SURVEY	
3	SITE & GRADING PLAN	
4	WATER QUALITY PLAN	
5	EXISTING DRAINAGE AREA MAP	
6	PROPOSED DRAINAGE AREA MAP	
7	UTILITY & ESC PLAN	
8	DETAIL SHEET	

OWNER: THISTLE DEW RANCH, LLC  
 15502 MARY STREET  
 VOLENTE, TEXAS 78641  
 CONTACT: JOHN BUCK

NO.	DESCRIPTION	ISSUED BY	DATE	REVISION
1	ISSUED FOR PERMIT	JTB	5/14/2020	
2	ISSUED FOR PERMIT	JTB	5/14/2020	
3	ISSUED FOR PERMIT	JTB	5/14/2020	
4	ISSUED FOR PERMIT	JTB	5/14/2020	
5	ISSUED FOR PERMIT	JTB	5/14/2020	
6	ISSUED FOR PERMIT	JTB	5/14/2020	
7	ISSUED FOR PERMIT	JTB	5/14/2020	
8	ISSUED FOR PERMIT	JTB	5/14/2020	

**SITE PLAN REVIEW**  
 VALUE OF THE APPLICATION DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE USER OF THIS DOCUMENT ASSUMES ALL LIABILITY FOR ANY ERRORS, OMISSIONS, OR INADEQUACIES IN THE INFORMATION CONTAINED HEREIN. TDI ENGINEERING, LLC DOES NOT WARRANT THE ACCURACY OR COMPLETENESS OF THE INFORMATION CONTAINED HEREIN, AND IT IS ADVISED THAT THERE MAY BE OTHER SOURCES OF SUCH INFORMATION.

ALL INFORMATION FOR THE ACQUISITION OF THESE PLANS MUST BE OBTAINED FROM THE DESIGN AND CONSTRUCTION CONTRACTOR. THE USER OF THESE PLANS ASSUMES ALL LIABILITY FOR ANY ERRORS, OMISSIONS, OR INADEQUACIES IN THE INFORMATION CONTAINED HEREIN. TDI ENGINEERING, LLC DOES NOT WARRANT THE ACCURACY OR COMPLETENESS OF THE INFORMATION CONTAINED HEREIN, AND IT IS ADVISED THAT THERE MAY BE OTHER SOURCES OF SUCH INFORMATION.

1 of 8  
 SHEET

TDI Engineering, LLC  
 5888 Old Fredericksburg Road, Suite 300  
 Austin, TX 78750  
 512-325-1001 | www.tdi-engineering.com



**THISTLE DEW RANCH**  
 15502 MARY STREET  
 VOLENTE, TEXAS 78641  
 THISTLE DEW RANCH, LLC

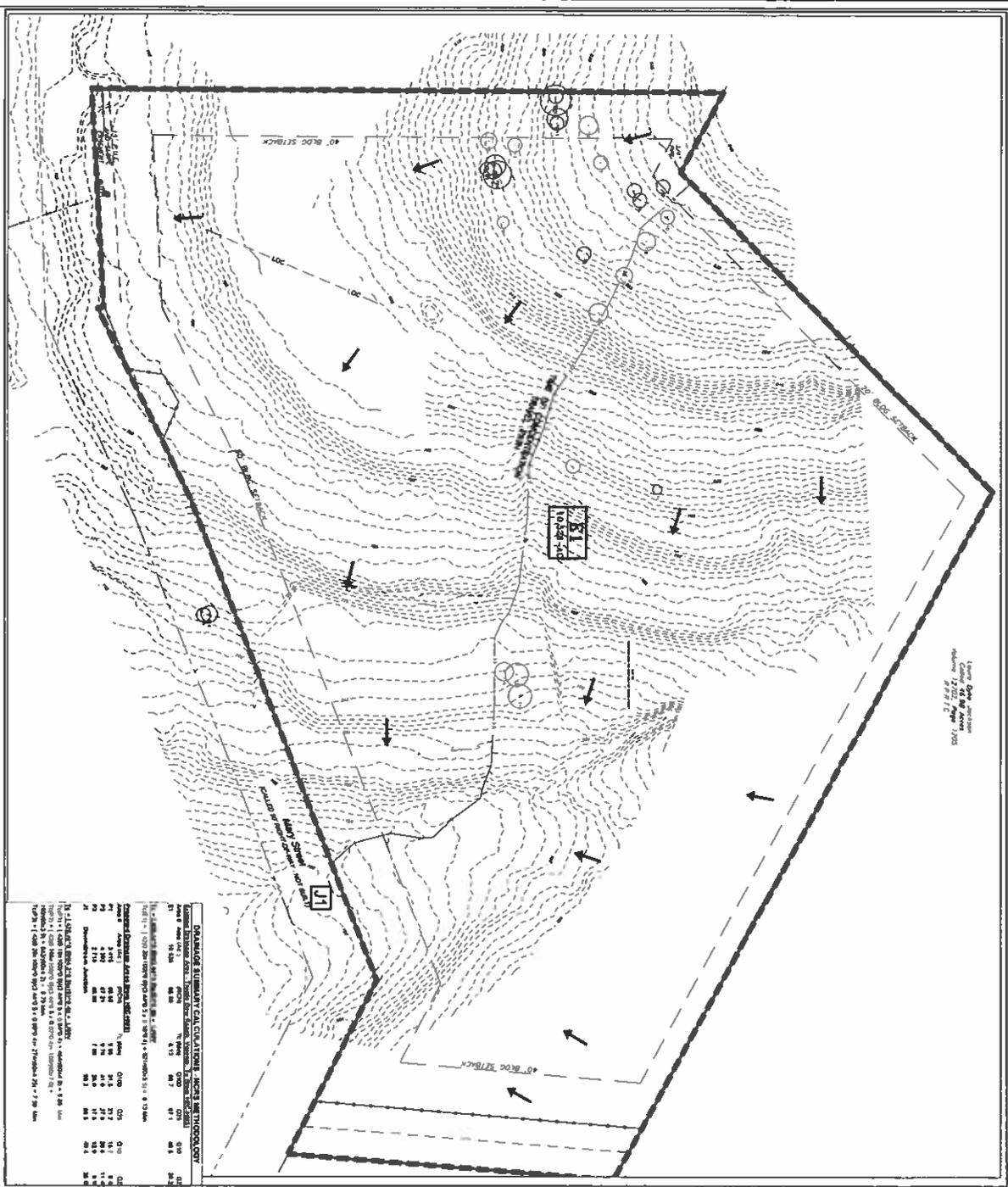
COVER  
 ISSUE DATE: 5/14/2020  
 PROJECT #: 302-170

© THINK DESIGN innovate, integrate, implement









Thistle Dew Ranch  
 15502 Mary Street  
 Volente, Texas 78641

**DRAINAGE SUMMARY CALCULATIONS - INDEX HYDROLOGY**

Area	Area (Ac)	Runoff Coefficient (C)	Runoff (In)	Runoff (CFS)
1	1.00	0.10	0.10	0.10
2	1.00	0.10	0.10	0.10
3	1.00	0.10	0.10	0.10
4	1.00	0.10	0.10	0.10
5	1.00	0.10	0.10	0.10
6	1.00	0.10	0.10	0.10
7	1.00	0.10	0.10	0.10
8	1.00	0.10	0.10	0.10
9	1.00	0.10	0.10	0.10
10	1.00	0.10	0.10	0.10
11	1.00	0.10	0.10	0.10
12	1.00	0.10	0.10	0.10
13	1.00	0.10	0.10	0.10
14	1.00	0.10	0.10	0.10
15	1.00	0.10	0.10	0.10
16	1.00	0.10	0.10	0.10
17	1.00	0.10	0.10	0.10
18	1.00	0.10	0.10	0.10
19	1.00	0.10	0.10	0.10
20	1.00	0.10	0.10	0.10
21	1.00	0.10	0.10	0.10
22	1.00	0.10	0.10	0.10
23	1.00	0.10	0.10	0.10
24	1.00	0.10	0.10	0.10
25	1.00	0.10	0.10	0.10
26	1.00	0.10	0.10	0.10
27	1.00	0.10	0.10	0.10
28	1.00	0.10	0.10	0.10
29	1.00	0.10	0.10	0.10
30	1.00	0.10	0.10	0.10
31	1.00	0.10	0.10	0.10
32	1.00	0.10	0.10	0.10
33	1.00	0.10	0.10	0.10
34	1.00	0.10	0.10	0.10
35	1.00	0.10	0.10	0.10
36	1.00	0.10	0.10	0.10
37	1.00	0.10	0.10	0.10
38	1.00	0.10	0.10	0.10
39	1.00	0.10	0.10	0.10
40	1.00	0.10	0.10	0.10
41	1.00	0.10	0.10	0.10
42	1.00	0.10	0.10	0.10
43	1.00	0.10	0.10	0.10
44	1.00	0.10	0.10	0.10
45	1.00	0.10	0.10	0.10
46	1.00	0.10	0.10	0.10
47	1.00	0.10	0.10	0.10
48	1.00	0.10	0.10	0.10
49	1.00	0.10	0.10	0.10
50	1.00	0.10	0.10	0.10
51	1.00	0.10	0.10	0.10
52	1.00	0.10	0.10	0.10
53	1.00	0.10	0.10	0.10
54	1.00	0.10	0.10	0.10
55	1.00	0.10	0.10	0.10
56	1.00	0.10	0.10	0.10
57	1.00	0.10	0.10	0.10
58	1.00	0.10	0.10	0.10
59	1.00	0.10	0.10	0.10
60	1.00	0.10	0.10	0.10
61	1.00	0.10	0.10	0.10
62	1.00	0.10	0.10	0.10
63	1.00	0.10	0.10	0.10
64	1.00	0.10	0.10	0.10
65	1.00	0.10	0.10	0.10
66	1.00	0.10	0.10	0.10
67	1.00	0.10	0.10	0.10
68	1.00	0.10	0.10	0.10
69	1.00	0.10	0.10	0.10
70	1.00	0.10	0.10	0.10
71	1.00	0.10	0.10	0.10
72	1.00	0.10	0.10	0.10
73	1.00	0.10	0.10	0.10
74	1.00	0.10	0.10	0.10
75	1.00	0.10	0.10	0.10
76	1.00	0.10	0.10	0.10
77	1.00	0.10	0.10	0.10
78	1.00	0.10	0.10	0.10
79	1.00	0.10	0.10	0.10
80	1.00	0.10	0.10	0.10
81	1.00	0.10	0.10	0.10
82	1.00	0.10	0.10	0.10
83	1.00	0.10	0.10	0.10
84	1.00	0.10	0.10	0.10
85	1.00	0.10	0.10	0.10
86	1.00	0.10	0.10	0.10
87	1.00	0.10	0.10	0.10
88	1.00	0.10	0.10	0.10
89	1.00	0.10	0.10	0.10
90	1.00	0.10	0.10	0.10
91	1.00	0.10	0.10	0.10
92	1.00	0.10	0.10	0.10
93	1.00	0.10	0.10	0.10
94	1.00	0.10	0.10	0.10
95	1.00	0.10	0.10	0.10
96	1.00	0.10	0.10	0.10
97	1.00	0.10	0.10	0.10
98	1.00	0.10	0.10	0.10
99	1.00	0.10	0.10	0.10
100	1.00	0.10	0.10	0.10

**POINT OF ANALYSIS**

Point of Analysis	Area (Ac)	Runoff Coefficient (C)	Runoff (In)	Runoff (CFS)
1	1.00	0.10	0.10	0.10
2	1.00	0.10	0.10	0.10
3	1.00	0.10	0.10	0.10
4	1.00	0.10	0.10	0.10
5	1.00	0.10	0.10	0.10
6	1.00	0.10	0.10	0.10
7	1.00	0.10	0.10	0.10
8	1.00	0.10	0.10	0.10
9	1.00	0.10	0.10	0.10
10	1.00	0.10	0.10	0.10
11	1.00	0.10	0.10	0.10
12	1.00	0.10	0.10	0.10
13	1.00	0.10	0.10	0.10
14	1.00	0.10	0.10	0.10
15	1.00	0.10	0.10	0.10
16	1.00	0.10	0.10	0.10
17	1.00	0.10	0.10	0.10
18	1.00	0.10	0.10	0.10
19	1.00	0.10	0.10	0.10
20	1.00	0.10	0.10	0.10
21	1.00	0.10	0.10	0.10
22	1.00	0.10	0.10	0.10
23	1.00	0.10	0.10	0.10
24	1.00	0.10	0.10	0.10
25	1.00	0.10	0.10	0.10
26	1.00	0.10	0.10	0.10
27	1.00	0.10	0.10	0.10
28	1.00	0.10	0.10	0.10
29	1.00	0.10	0.10	0.10
30	1.00	0.10	0.10	0.10
31	1.00	0.10	0.10	0.10
32	1.00	0.10	0.10	0.10
33	1.00	0.10	0.10	0.10
34	1.00	0.10	0.10	0.10
35	1.00	0.10	0.10	0.10
36	1.00	0.10	0.10	0.10
37	1.00	0.10	0.10	0.10
38	1.00	0.10	0.10	0.10
39	1.00	0.10	0.10	0.10
40	1.00	0.10	0.10	0.10
41	1.00	0.10	0.10	0.10
42	1.00	0.10	0.10	0.10
43	1.00	0.10	0.10	0.10
44	1.00	0.10	0.10	0.10
45	1.00	0.10	0.10	0.10
46	1.00	0.10	0.10	0.10
47	1.00	0.10	0.10	0.10
48	1.00	0.10	0.10	0.10
49	1.00	0.10	0.10	0.10
50	1.00	0.10	0.10	0.10
51	1.00	0.10	0.10	0.10
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53	1.00	0.10	0.10	0.10
54	1.00	0.10	0.10	0.10
55	1.00	0.10	0.10	0.10
56	1.00	0.10	0.10	0.10
57	1.00	0.10	0.10	0.10
58	1.00	0.10	0.10	0.10
59	1.00	0.10	0.10	0.10
60	1.00	0.10	0.10	0.10
61	1.00	0.10	0.10	0.10
62	1.00	0.10	0.10	0.10
63	1.00	0.10	0.10	0.10
64	1.00	0.10	0.10	0.10
65	1.00	0.10	0.10	0.10
66	1.00	0.10	0.10	0.10
67	1.00	0.10	0.10	0.10
68	1.00	0.10	0.10	0.10
69	1.00	0.10	0.10	0.10
70	1.00	0.10	0.10	0.10
71	1.00	0.10	0.10	0.10
72	1.00	0.10	0.10	0.10
73	1.00	0.10	0.10	0.10
74	1.00	0.10	0.10	0.10
75	1.00	0.10	0.10	0.10
76	1.00	0.10	0.10	0.10
77	1.00	0.10	0.10	0.10
78	1.00	0.10	0.10	0.10
79	1.00	0.10	0.10	0.10
80	1.00	0.10	0.10	0.10
81	1.00	0.10	0.10	0.10
82	1.00	0.10	0.10	0.10
83	1.00	0.10	0.10	0.10
84	1.00	0.10	0.10	0.10
85	1.00	0.10	0.10	0.10
86	1.00	0.10	0.10	0.10
87	1.00	0.10	0.10	0.10
88	1.00	0.10	0.10	0.10
89	1.00	0.10	0.10	0.10
90	1.00	0.10	0.10	0.10
91	1.00	0.10	0.10	0.10
92	1.00	0.10	0.10	0.10
93	1.00	0.10	0.10	0.10
94	1.00	0.10	0.10	0.10
95	1.00	0.10	0.10	0.10
96	1.00	0.10	0.10	0.10
97	1.00	0.10	0.10	0.10
98	1.00	0.10	0.10	0.10
99	1.00	0.10	0.10	0.10
100	1.00	0.10	0.10	0.10

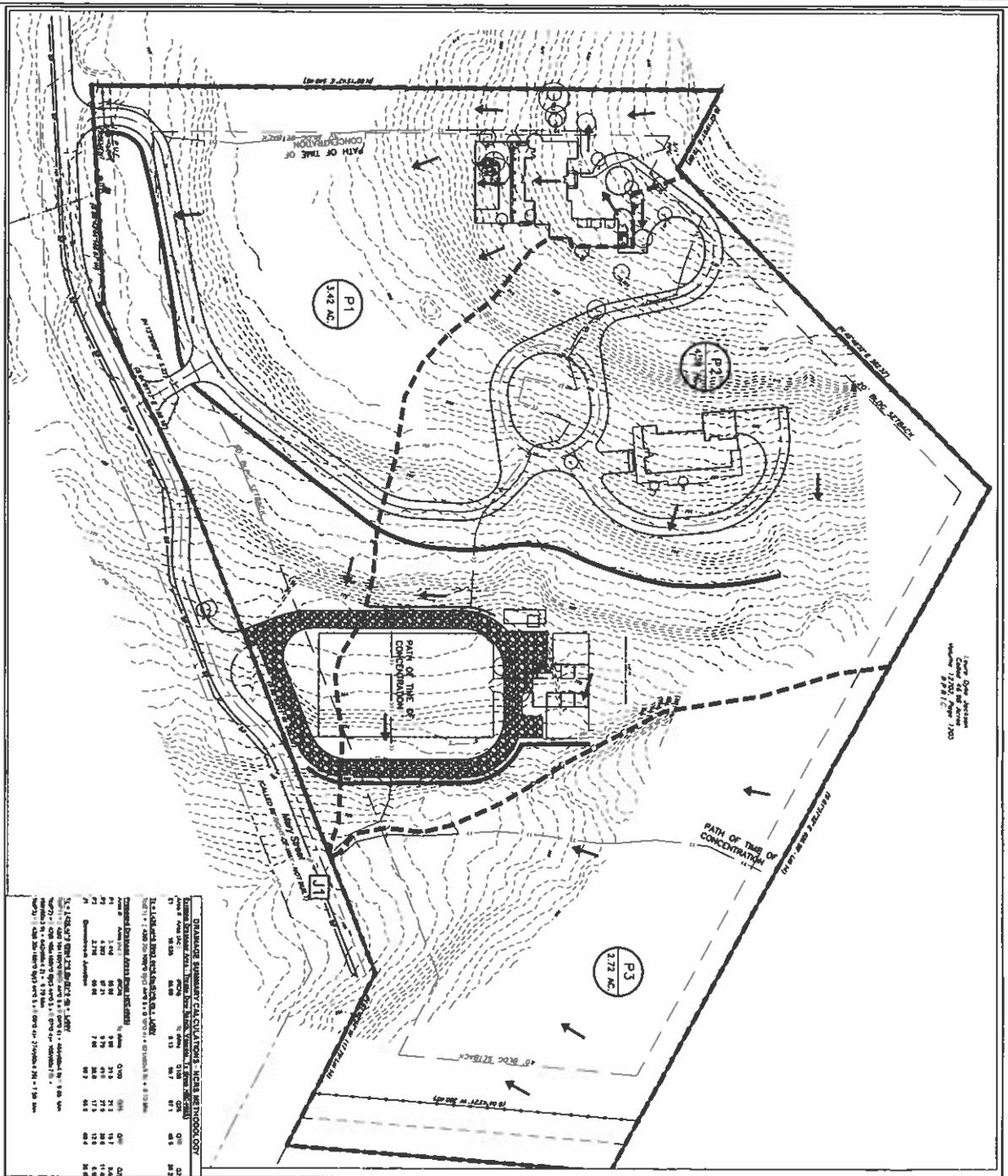
**DRAINAGE LEGEND**

- ON-SITE DRAINAGE AREA BOUNDARY
- EXISTING DRAINAGE AREA BOUNDARY
- POINT OF ANALYSIS
- EXISTING/PROPOSED WATER VIEW ARROW
- LINE OF CONCENTRATION TRAVEL PATH

**LEGEND**

SYMBOL	DESCRIPTION
(Symbol)	EXISTING DRAINAGE AREA BOUNDARY
(Symbol)	ON-SITE DRAINAGE AREA BOUNDARY
(Symbol)	POINT OF ANALYSIS
(Symbol)	EXISTING/PROPOSED WATER VIEW ARROW
(Symbol)	LINE OF CONCENTRATION TRAVEL PATH
(Symbol)	40' BLOCK SETBACK

Graphic Scale: 1" = 100'



Thistle Dew Ranch  
 15502 Mary Street  
 Volente, TX 78641  
 Project # 302-170

**DRAINAGE SUMMARY CALCULATIONS - RISES METHOD**

Area	Area (Ac)	Time of Travel (min)	Time of Concentration (min)	Runoff Coefficient (C)	Runoff (CFS)
P1	1.42	10	10	0.5	1.42
P2	1.17	10	10	0.5	1.17
P3	2.72	10	10	0.5	2.72
<b>Total</b>	<b>5.31</b>	<b>10</b>	<b>10</b>	<b>0.5</b>	<b>5.31</b>

Note: 1.0 = 1.48 cfs/acre for 1" of rain in 1 hour.  
 Runoff = Area x Time of Concentration x Runoff Coefficient x 1.48

**PROPOSED DRAINAGE AREA MAP**

Area	Area (Ac)	Time of Travel (min)	Time of Concentration (min)	Runoff Coefficient (C)	Runoff (CFS)
P1	1.42	10	10	0.5	1.42
P2	1.17	10	10	0.5	1.17
P3	2.72	10	10	0.5	2.72
<b>Total</b>	<b>5.31</b>	<b>10</b>	<b>10</b>	<b>0.5</b>	<b>5.31</b>

**DRAINAGE LEGEND**

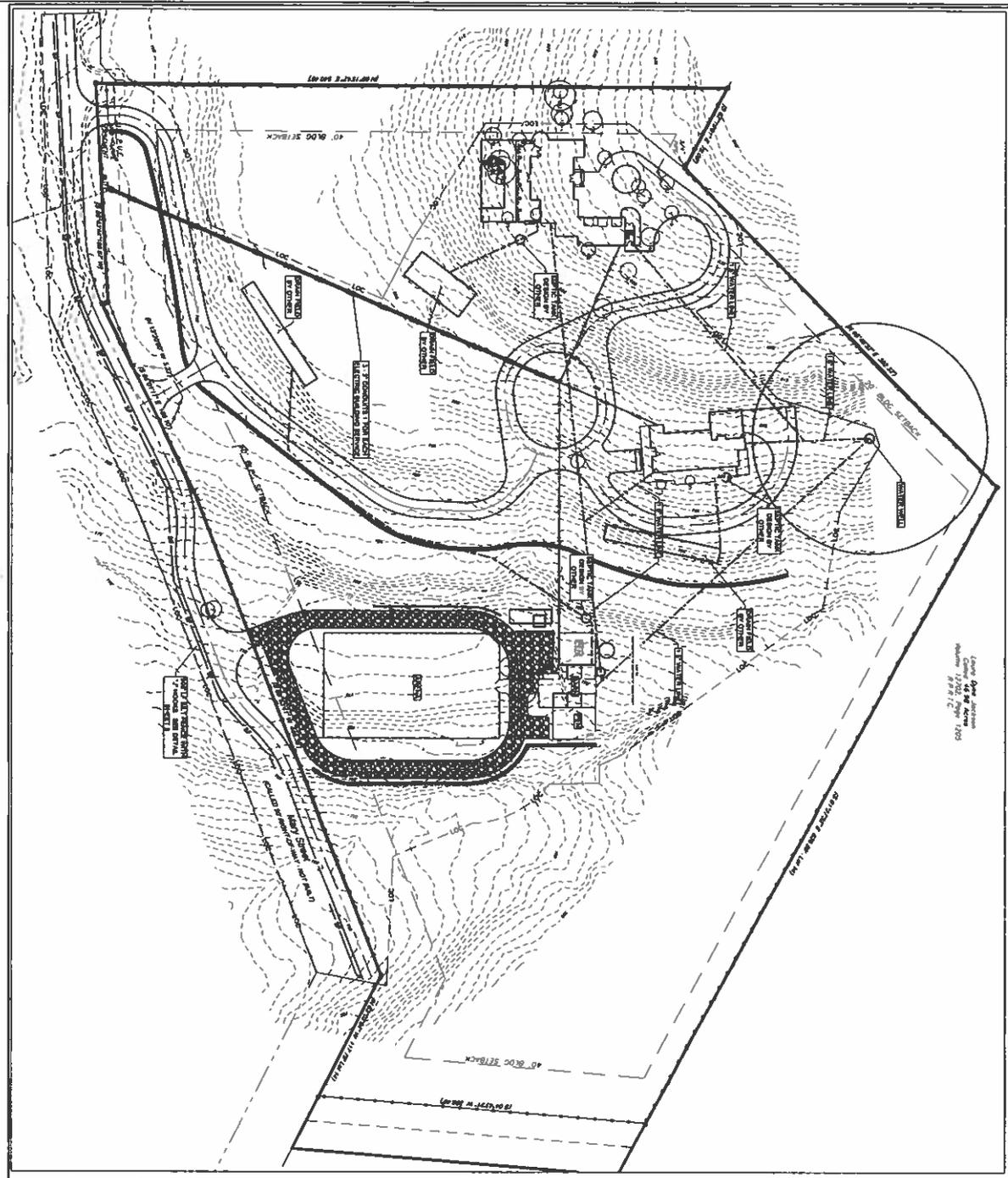
- ON-SITE DRAINAGE AREA BOUNDARY
- PROPOSED DRAINAGE AREA BOUNDARY
- P1 1.42 AC
- P2 1.17 AC
- P3 2.72 AC
- POINT OF ANALYSIS
- EXISTING/PROPOSED WATER FLOW ARROW
- PATH OF TIME OF CONCENTRATION

**LEGEND**

1" = 100'  
 NORTH

TDI Engineering, LLC  
 5000 Old Fredericksburg Road, Suite 200  
 Austin, TX 78740  
 512-391-2000 | www.tdi-engineering.com

CIVIL & STRUCTURAL ENGINEERS  
 ALBERTA - REGISTRATION NO. 1000

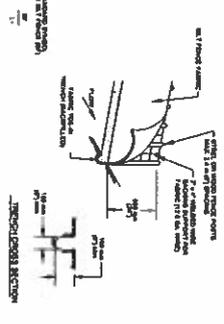


Thistle Dew Ranch  
 15502 Mary Street  
 Volente, Texas 78641

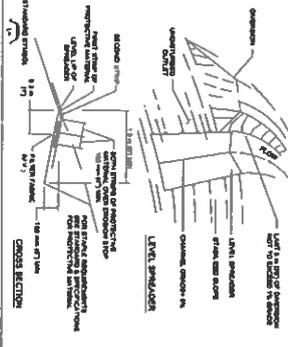
LEGEND	
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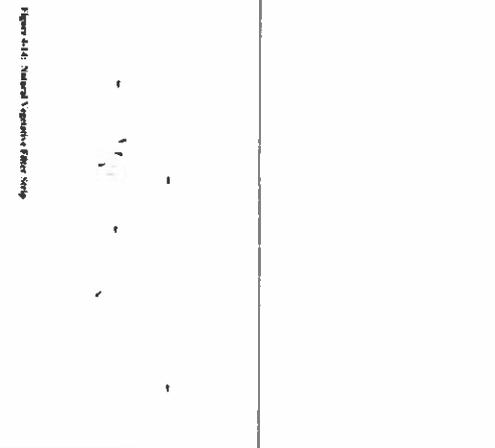
SHEET <b>7</b> 7 of 8	UTILITY & ESC PLAN	<b>THISTLE DEW RANCH</b> 15502 MARY STREET VOLENTE, TEXAS 78641				TDI <b>ENGINEERING</b>	100 Engineering, LLC 8888 Old Pottersburg Road, Suite 200 Austin, TX 78740 512-331-2588   www.tdi-eng.com	CIVIL & STRUCTURAL ENGINEERING AUSTIN/HOUSTON
	ISSUE DATE 5/4/2020	PROJECT # 302-170	THISTLE DEW RANCH, LLC					



**CITY OF AUSTIN**  
 DEPARTMENT OF PUBLIC WORKS  
 DIVISION OF PERMITS  
 5000 BRUNNEN DRIVE, SUITE 1000  
 AUSTIN, TEXAS 78724  
 TEL: 512.478.2200  
 FAX: 512.478.2201  
 WWW.AUSTIN.TX.GOV



**CITY OF AUSTIN**  
 DEPARTMENT OF PUBLIC WORKS  
 DIVISION OF PERMITS  
 5000 BRUNNEN DRIVE, SUITE 1000  
 AUSTIN, TEXAS 78724  
 TEL: 512.478.2200  
 FAX: 512.478.2201  
 WWW.AUSTIN.TX.GOV





Tax ID 175197

APPLICATION FOR MISCELLANEOUS BUILDING PERMIT

(CHECK ONE & INCLUDE NECESSARY SUPPORTING MATERIAL)

- Building Remodel, Accessory Building, Storage Building, Sprinkler System, Driveway/Culvert, Pool/Hot Tub, Other: TREE REMOVAL



VILLAGE OF VOLENTE

VOV USE ONLY:

Date Submitted:

2/7/19

Amount Rec'd:

Receipt No.

Date Approved by Engineer:

Address of Property: 15502 MARY STREET

Legal Description: LOT 14 LAKE TRAVIS SUBDIV. NO. 5

Property Owner Name(s): THISTLE DEW RANCH LLC

Telephone: 512-917-5188 Email: kbeck@thecypresscreek.com

Mailing Address: 15911 BOOTH CIR., VOLENTE 78641

Contractor: N/A Contact Name:

Telephone: Email:

Mailing Address:

\*Authorized Agent form must be completed if applicant is not owner

Existing Use: Open land Proposed Use: SFR w/ HORSES

Existing Zoning: SR Gross Acres: 9+ Project Valuation:

Brief Description of Proposed Work: Clearing cedars from Row + from property in order to build driveway onto property

The following items or information must be submitted along with this application:

- Description: Written proposal for the project and/or site plan. Describe in as much detail as possible the current and proposed uses/activities. Attach separate sheets as necessary.
Plans: 1 printed copy of the building plans (if applicable) for the property and electronic submission of the plans to the Village of Volente via email.
Deposit: Made payable to the Village of Volente for the amount shown in the Fee Schedule.
Tax Receipt, Closing Statement or Deed, Authorized Agent Form, & Variance Application as applicable.

SUBMITTAL VERIFICATION/INSPECTION AUTHORIZATION

That I, as owner or duly authorized officer of the property hereinafter referenced, do hereby execute this document, acknowledge the above statements to be true and accurate to the best of knowledge, and understand that knowing and willful falsification of information will result in rejection of my application and may be subject to criminal prosecution. I agree to compliance with all applicable codes and ordinances of the Village. I authorize the Village or their representatives to visit and inspect the property for which this application is being submitted. I further understand that Village Staff review time may take up to ten (10) business days per review.

Kenneth H. Beck

APPLICANT SIGNATURE

Ken Beck

Printed Name

2/7/19

Date

STAFF:

**A. Settlement Statement**

U.S. Department of Housing and Urban Development

OMB No. 2502-0265

B. Type of Loan			
1. <input type="checkbox"/> FHA	2. <input type="checkbox"/> FmHA	3. <input type="checkbox"/> Conv Units	6. File Number 1838783-BAL
4. <input type="checkbox"/> VA	5. <input type="checkbox"/> Conv Ins.	6. <input type="checkbox"/> Seller Finance	7. Loan Number
7. <input checked="" type="checkbox"/> Cash Sale			8. Mortgage Ins Case Number
C. Note: This form is furnished to give you a statement of actual settlement costs. Amounts paid to and by the settlement agent are shown. Items marked "(p.o.c.)" were paid outside the closing; they are shown here for informational purposes and are not included in the totals.			
D. Name & Address of Borrower Thistle Dew Ranch LLC 15911 Booth Circle Volente, TX 78641		E. Name & Address of Seller Thomas James Schmitt 40 N. IH 35 Apt.3CI Austin, TX 78701	
G. Property Location Lake Travis Subdivision No 5, Lot 14 LOT 14 & PT OF VAC YANTI ST, Travis County, TX 15502 Mary Street Volente, TX 78641		H. Settlement Agent Name Independence Title 5900 Shepherd Mountain Cove, Bldg 2, Ste. 200 Austin, TX 78730 Tax ID: 74-1909700 Underwritten By: Title Resources Guaranty Company	
		I. Settlement Date 2/1/2019 Fund: 2/1/2019	
J. Summary of Borrower's Transaction		K. Summary of Seller's Transaction	
100. Gross Amount Due from Borrower		400. Gross Amount Due to Seller	
101. Contract Sales Price	\$323,600.00	401. Contract Sales Price	\$323,600.00
102. Personal Property		402. Personal Property	
103. Settlement Charges to borrower	\$558.40	403.	
104.		404.	
105.		405.	
Adjustments for items paid by seller in advance		Adjustments for items paid by seller in advance	
106. Property taxes		406. Property taxes	
107. City property taxes		407. City property taxes	
108. County property taxes		408. County property taxes	
109. School property taxes		409. School property taxes	
110. HOA Dues		410. HOA Dues	
111. MUD Taxes		411. MUD Taxes	
112.		412.	
113.		413.	
114.		414.	
115.		415.	
116.		416.	
120. Gross Amount Due From Borrower	\$324,158.40	420. Gross Amount Due to Seller	\$323,600.00
200. Amounts Paid By Or in Behalf Of Borrower		500. Reductions In Amount Due to Seller	
201. Deposit or earnest money	\$4,250.00	501. Excess Deposit	
202. Principal amount of new loan(s)		502. Settlement Charges to Seller (line 1400)	\$18,515.03
203. Existing loan(s) taken subject to		503. Existing Loan(s) Taken Subject to	
204. Loan Amount 2nd Lien		504. Payoff to	
205.		505. Payoff to	
206. Option Money	\$500.00	506. Option Money	\$500.00
207.		507.	
208.		508.	
209.		509.	
Adjustments for items unpaid by seller		Adjustments for items unpaid by seller	
210. Property taxes 01/01/19 thru 02/01/19	\$726.70	510. Property taxes 01/01/19 thru 02/01/19	\$726.70
211. City property taxes		511. City property taxes	
212. County property taxes		512. County property taxes	
213. School property taxes		513. School property taxes	
214. HOA Dues		514. HOA Dues	
215. MUD Taxes		515. MUD Taxes	
216.		516.	
217.		517.	
218.		518.	
219.		519.	
220. Total Paid By/For Borrower	\$5,476.70	520. Total Reduction Amount Due Seller	\$19,741.73
300. Cash At Settlement From/To Borrower		600. Cash At Settlement To/From Seller	
301. Gross Amount due from borrower (line 120)	\$324,158.40	601. Gross Amount due to seller (line 420)	\$323,600.00
302. Less amounts paid by/for borrower (line 220)	\$5,476.70	602. Less reductions in amt. due seller (line 520)	\$19,741.73
303. Cash From Borrower	\$318,681.70	603. Cash To Seller	\$303,858.27

I. Settlement Charges				Paid From	Paid From
700. Total Sales/Broker's Commission based on price		\$323,600.00	@ % = \$10,003.00	Borrower's Funds at Settlement	Seller's Funds at Settlement
Division of Commission (line 700) as follows:					
701.	\$295.00	to	City View Realty		
702.	\$9,708.00	to	Livin' Austin Realty		
703.	Commission Paid at Settlement			\$0.00	\$10,003.00
704.	The following persons, firms or	to			
705.	corporations received a portion	to			
706.	of the real estate commission amount	to			
707.	shown above:	to			
<b>800. Items Payable in Connection with Loan</b>					
801.	Loan Origination Fee %	to			
802.	Loan Discount %	to			
803.	Appraisal Fee	to			
804.	Credit Report	to			
805.	Lender's Inspection Fee	to			
806.	Mortgage Insurance Application	to			
807.	Underwriting Fee	to			
808.	Flood Cert Fee	to			
809.	Processing Fee	to			
810.	Tax Services	to			
<b>900. Items Required by Lender To Be Paid in Advance</b>					
901.	Interest from 2/1/2019 to 3/1/2019 @ \$0/day				
902.	Mortgage Insurance Premium for months	to			
903.	Hazard Insurance Premium for years	to			
904.	2nd Lien Interest	to			
<b>1000. Reserves Deposited With Lender</b>					
1001.	Hazard insurance	months @	per month	\$0.00	
1002.	Mortgage insurance	months @	per month	\$0.00	
1003.	Property taxes	months @	per month	\$0.00	
1004.	City property taxes	months @	per month	\$0.00	
1005.	County property taxes	months @	per month	\$0.00	
1006.	School property taxes	months @	per month	\$0.00	
1007.	MUD Taxes	months @	per month	\$0.00	
1008.	HOA Dues	months @	per month	\$0.00	
1011.	Aggregate Adjustment				
<b>1100. Title Charges</b>					
1101.	Settlement or closing fee	to			
1102.	Abstract or title search	to			
1103.	Title examination	to			
1104.	Title insurance binder	to			
1105.	Document preparation - Cash Deed	to	Fitzgerald & Fitzgerald Law Office		\$60.00
1106.	Notary fees	to			
1107.	Attorney's fees	to			
(includes above items numbers: )					
1108.	Title insurance	to	Independence Title Co.	\$211.40	\$2,431.10
(includes above items numbers: )					
1109.	Lender's coverage	\$0.00/\$0.00			
1110.	Owner's coverage	\$323,600.00/\$2,642.50			
1111.	Escrow fee	to	Independence Title Co.	\$275.00	\$275.00
1112.		to			
1113.	Courier/Overnight Fees	to	Independence Title Co.	\$35.00	\$35.00
1114.	e-Recording	to	Independence Title Co.	\$3.00	\$0.00
<b>1200. Government Recording and Transfer Charges</b>					
1201.	Recording Fees	Deed \$34.00 ; Mortgage ; Rel	to Independence Title Co.	\$34.00	
1202.	City/county tax/stamps	Deed ; Mortgage	to		
1203.	State tax stamps	Deed ; Mortgage	to		
1204.		to			
<b>1300. Additional Settlement Charges</b>					
1301.	Survey	to	Walker Texas Surveyors Inc		\$5,667.63
1302.	Pest Inspection	to			
1303.	HOA Transfer Fee	to			
1304.	Home Warranty	to			
1305.	Property Taxes	to			
1306.	Tax Certificate	to	Texas Real Tax Services, Ltd.		\$43.30
1307.	MUD Certificate	to	Texas Real Tax, Inc.		
<b>1400. Total Settlement Charges (enter on lines 103, Section J and 502, Section K)</b>				<b>\$558.40</b>	<b>\$18,515.03</b>

I have carefully reviewed the HUD-1 Settlement Statement and to the best of my knowledge and belief, it is a true and accurate statement of all receipts and disbursements made on my account or by me in this transaction. I further certify that I have received a completed copy of pages 1, 2 and 3 of this HUD-1 Settlement Statement.

File No. 1838783-BAL

Thistle Dew Ranch LLC

by Kenneth H. Beck  
Kenneth H. Beck

Thomas James Schmit  
Thomas James Schmit

Thistle Dew Ranch LLC

by Joyce Beck  
Joyce Beck

**SETTLEMENT AGENT CERTIFICATION**

The HUD-1 Settlement Statement which I have prepared is a true and accurate account of this transaction. I have caused the funds to be disbursed in accordance with this statement.

[Signature]  
Settlement Agent

2-1-2019  
Date

**Warning:** It is a crime to knowingly make false statements to the United States on this or any other similar form. Penalties upon conviction can include a fine and imprisonment. For details see: Title 18 U.S. Code Section 1001 and Section 1010.

Previous Editions are Obsolete

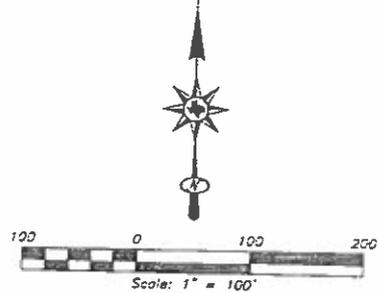
Page 2

form HUD-1 (3/86)  
Handbook 4305 2

**LAND TITLE SURVEY**

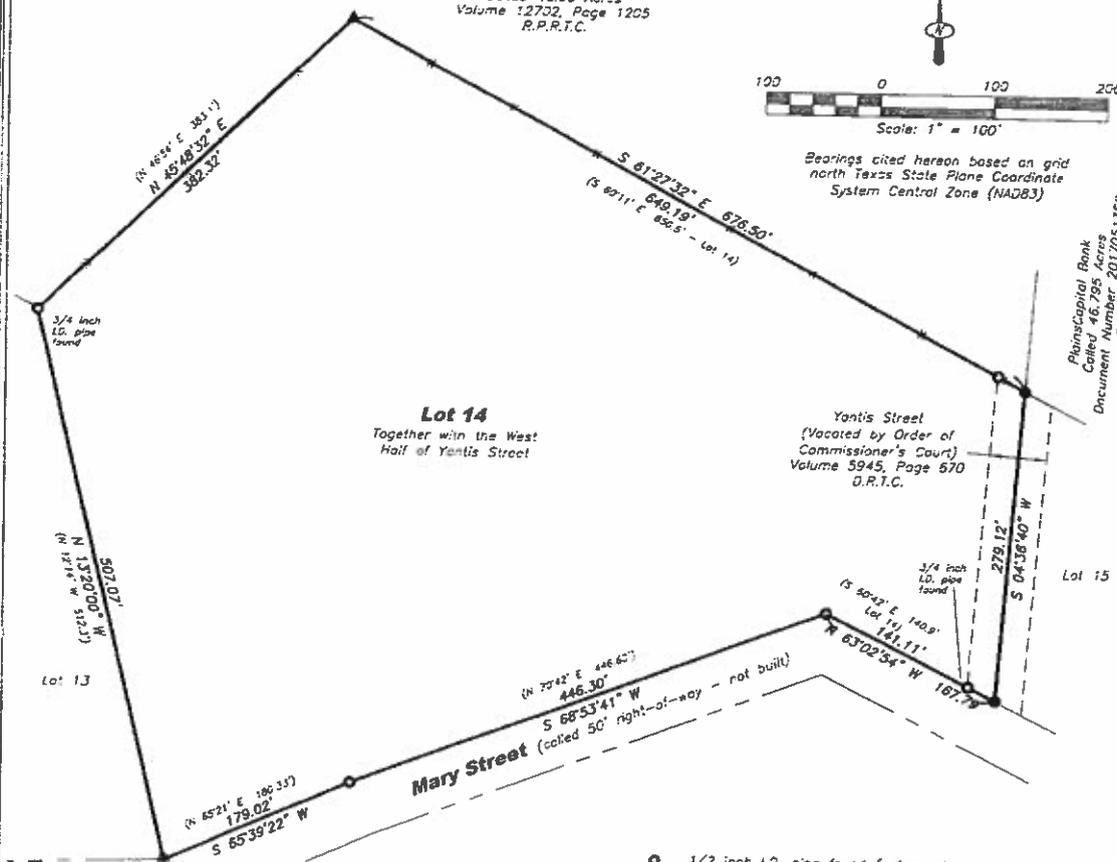
Legal Description: Lot 14, Lake Travis Subdivision No. 5, as recorded in Volume 4, Page 81, Plat Records of Travis County, Texas, and that adjacent western one-half of Yantis Street, as vacated by Order of the Commissioner's Court recorded in Volume 5945, Page 670, Deed Records of Travis County, Texas.

Laura Dyke Jackson  
 Ceded 46.98 Acres  
 Volume 12702, Page 1205  
 R.P.R.T.C.



Bearings cited hereon based on grid north Texas State Plane Coordinate System Central Zone (NAD83)

PlainsCapital Bank  
 Ceded 46.795 Acres  
 Document Number 2017051359  
 O.P.R.T.C.



- 1/2 inch I.D. pipe found (unless otherwise noted)
- ⊙ 1/2 inch iron rod with cap inscribed "JGM" found
- 1/2 inch iron rod found (unless otherwise noted)
- ⊕ 300 nail found in concrete
- X- wire fence
- D.R.T.C. Deed Records Travis County
- R.P.R.T.C. Real Property Records Travis County
- O.R.T.C. Official Records Travis County
- P.R.T.C. Plat Records Travis County
- (XXXX) Denotes record date per Volume 4, Page 81, P.R.T.C.

**Surveyor's Notes:**  
 Only those easements and that information listed in Title Commitment GF No. 1839763-BAL, issued by Title Resources Guaranty Company, with an effective date of October 2, 2018, and re-listed below were considered regarding restrictions and matters affecting this property. No other research was performed by Walker Texas Surveyors, Inc. All underground utilities have not been located by this surveyor. The herein signed Registered Professional Land Surveyor makes no warranty as to the existence or location of any such utility, whether serving the subject tract or for the purpose of servicing other properties. Subsurface and environmental conditions were not examined or considered as a part of this survey. The word "certify" or "certification" as shown and used hereon means an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee, expressed or implied.

**Subject To:**  
 Volume 4, Page 81, P.R.T.C.; Volume 609, Page 470; Volume 609, Page 211; Volume 550, Page 173; Volume 676, Page 633 (Blanket Type); Volume 678, Page 231; Volume 821, Page 437 (Blanket Type); Volume 822, Page 465 (Blanket Type); D.R.T.C.; Volume 12801, Page 1048; Volume 15315, Page 738; R.P.R.T.C.; Document No.(s) 2008196843, 2009038286, O.P.R.T.C.

**Floodplain Note:**  
 By graphical plotting only, the lot shown hereon is located in Zone "X" and is an interpolation of the information from a 1" = 1000' scale Federal Emergency Management Agency Flood Insurance Rate Map for Travis County, Texas, Map Number 48453C0210H, with an effective date of September 26, 2008 and such flood information is to be used only for the purposes of flood insurance. This surveyor does not assume responsibility for the accuracy of said map.

I, Brett A. Sults, do hereby certify exclusively to Kenneth M. Beck, Joyce L. Beck, and Title Resources Guaranty Company that: This plat represents a survey made on the ground of the property legally described hereon. There are no apparent discrepancies, encroachments, overlapping of improvements, obviously visible public utilities or roads in place except as shown hereon. Said property adjoins a public roadway.

Sheet 1 of 1

WALKER  
 TEXAS SURVEYORS  
 P.O. Box 324  
 Cedar Park, Texas 78630-0324  
 Phone (512) 259-3361  
 TBPLS Firm #10103800

Kenneth M. Beck  
 2/1/19  
 Joyce Beck

## CLOSING VERIFICATION AND AGREEMENT

TITLE COMPANY: Independence Title

GF (FILE) NO: 1838783-BAL

DATE: February 1, 2019

BUYER(S): Thistle Dew Ranch LLC

SELLER(S): Thomas James Schmitt

PROPERTY: 15502 Mary Street, Volente, TX 78641

By initialing one or more of the following items as may be appropriate for the transaction, each SELLER and/or BUYER acknowledges his understanding of the disclosures being made by TITLE COMPANY and affirms the representations made by them to TITLE COMPANY as indicated. Each such disclosure or representation may jointly benefit both TITLE COMPANY and its title insurance underwriter-in-interest. Singular reference to "Seller" and "Buyer" includes multiple individuals/entities identified above. Any numbered item that does not apply to this transaction may be crossed out.

Buyer's Initials

JB  
KAB

1) WAIVER OF INSPECTION. In consideration of the issuance by TITLE COMPANY to BUYER of an Owner Policy of Title Insurance insuring good and indefeasible title to the Property subject to the Policy's terms and conditions, BUYER hereby waives any obligation on the part of TITLE COMPANY to inspect the Property. BUYER agrees to accept an Owner Policy containing the following Schedule "B" exception: "RIGHTS OF PARTIES IN POSSESSION". Within the meaning of this exception, "possession" shall include open acts or visible evidence of occupancy and any visible and apparent roadway or easement on or across all or any part of the property, but this exception does not extend to any right, claim, or interest evidenced by a document recorded in which the Property is located. BUYER agrees to be fully responsible for inspecting the Property to determine the rights of any party in possession and assumes full responsibility for obtaining possession from its present occupants, if any.

2) OWNER POLICY REJECTION. Pursuant to the requirement of TEXAS INSURANCE CODE Article 9.55, BUYER hereby acknowledges that the Mortgage Policy of Title Insurance to be issued under the File number referenced above, in consideration of \$ paid in policy premium, will be issued for the benefit and protection of the Lender ONLY and that such Policy will not afford title insurance coverage to BUYER in the event of a defect in the title to the real estate being acquired. An Owner Policy in the amount of \$ may be issued for an additional premium cost of \$. BUYER HEREBY REJECTS THE ISSUANCE OF AN OWNER POLICY.

Buyer's Initials

JB  
KAB

3) RECEIPT OF COMMITMENT. BUYER acknowledges having received and reviewed a copy of the preliminary Title Commitment issued in connection with the above-referenced transaction and understand that BUYER's Owner Policy will contain the exceptions set forth in Schedule "B" of the Commitment, together with any additional exceptions to title resulting from the documents involved in this transaction, any additional exceptions to title resulting from the final search of public records, and any additional exceptions for items shown on Schedule C of the Commitment for Title Insurance which have not been resolved prior to issuance of the Owner Policy.

4) UNSURVEYED PROPERTY. BUYER understands that no survey of the Property has been done in connection with this transaction and that the Owner Policy to be issued to BUYER will not provide title insurance coverage against encroachment of improvements, boundary conflicts, or other matters that would be found by a current survey. TITLE COMPANY has not attempted to determine if the Property lies in a special flood hazard area, and TITLE COMPANY has not made any representation concerning proximity of the Property in relation to any flood-plain or flood hazard area. BUYER is advised that information concerning special flood hazard areas may be available from county or municipal offices, a qualified surveyor or land-engineering company, or a private flood-plain consultant.

Buyer's Initials

JB  
KAB

5) ACCEPTANCE OF SURVEY. BUYER has reviewed a copy of the survey of the Property made in connection with this transaction and acknowledges being aware of matters of encroachment/conflict/discrepancy disclosed by the survey and exceptions related to the survey as set forth in Schedule B of the Title Commitment.

Seller's Initials

TJS

Buyer's Initials

JB  
KAB

6) PROPERTY TAX PRORATIONS. Property taxes for the current year have been prorated between BUYER and SELLER, who each acknowledge understanding that these prorations are based either on actual tax amounts for the present year, the sales price or on estimates of the appraised value and/or estimated tax rates of the current year. SELLER agrees that any default in prior payment of property taxes, either current or delinquent, will on demand be promptly reimbursed by SELLER to TITLE COMPANY. BUYER and SELLER each agree that, when amounts of the current year's taxes become known and payable (on or about October 1<sup>st</sup>), they will adjust any matters of re-proration and reimbursement between themselves and that TITLE COMPANY shall have no further liability or obligation with respect to these prorations. SELLER warrants and represents that there are no past due taxes owed on the Property and if such warranty and representation is untrue, the SELLER will reimburse Independence Title Company, on demand, for any sums paid by Independence Title Company to pay such taxes, and any related penalty and interest. In the event that Independence Title Company is relying upon evidence of payment of taxes from loan escrows by SELLER's present lender, SELLER agrees to reimburse Independence Title Company for any deficiency in such payment upon demand. SELLER recognizes their responsibility for all taxes prior to the date of closing the subject transactions. Should it develop at a later date, that taxes other than those collected at closing are due for prior or present years, seller agrees to make full settlement to Independence Title Company.

Initials

Buyer's

JB  
KHB

7) TAX RENDITION AND EXEMPTIONS. Although the Central Appraisal District (CAD) may independently determine BUYER's new ownership and billing address through deed-record research, BUYER is still obligated by law to "render" the Property for taxation, by notifying the CAD of the change in the Property's ownership and of BUYER's proper address for tax billing. BUYER is advised that current year's taxes may have been assessed on the basis of various exemptions obtained by SELLER (e.g., agriculture, open land, homestead or over-65). To the extent that BUYER may qualify to continue these exemptions, it is the responsibility of Buyer to satisfy the requirements of the CAD within the allowable time period. BUYER acknowledges understanding these obligations and the fact TITLE COMPANY assumes no responsibility for future accuracy of CAD records concerning ownership, tax-billing address, or status of exemptions.

8) HOMEOWNER'S ASSOCIATION. BUYER acknowledges notification that ownership of the Property involves membership in a Homeowner's or Property Owner's Association, to which monthly or annual dues or assessments will be owed that may be enforceable by a lien against the Property. BUYER understands that the Association (or its managing agent) should be contacted by BUYER directly to ascertain the exact amount of future dues or assessments. TITLE COMPANY disclaims any knowledge of, and has made no representations with respect to, the Association's annual budget, pending repairs or deferred maintenance, if any, or other debts of the Association. BUYER accepts sole responsibility to obtain such information and verify its accuracy to BUYER's satisfaction.

Seller's Initials

Buyer's Initials

TJS

JB  
KHB

9) ERRORS AND OMISSIONS. In the event that any of the documents prepared in connection with the closing of the transaction contain errors which misstate or inaccurately reflect the true and correct terms, conditions and provisions of this closing, and the inaccuracy or misstatement is due to a clerical error or to a unilateral mistake on the part of the TITLE COMPANY and/or the SELLER and/or the BUYER, the undersigned agree to execute, in a timely manner, such correction documents as TITLE COMPANY may deem necessary to remedy such inaccuracy or misstatement.

Seller's Initials

Buyer's Initials

TJS

JB  
KHB

10) CLOSING DISCLAIMER. The Seller and the Buyer each acknowledge their understanding that the above-referenced transaction is not yet "closed". Any change in possession of the Property takes place at Buyer's and Seller's sole risk. This transaction has not legally "closed" until:  
(a) all title requirements are completed to the satisfaction of the Title Company;  
(b) all necessary documents are properly reviewed, executed and accepted by the parties to this transaction and by the Title Company;  
(c) all funds are collected and delivered to and accepted by the parties to whom they are due; and  
(d) all necessary documents are filed of record in the office of the appropriate public records. The Seller and Buyer also understand that neither the Title Company nor its underwriter-in-interest is under any obligation to defend possession of the Property or to insure title to the Property until such time as the above-stated requirements have been fulfilled.

SELLER'S SIGNATURE(S)

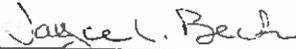
  
Thomas James Schmitt

BUYER'S SIGNATURE(S):

Thistle Dew Ranch LLC

by   
Kenneth H. Beck

Thistle Dew Ranch LLC

by   
Joyce L. Beck

SELLER'S FORWARDING ADDRESS:

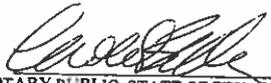
40 N. Interstate 35  
Apt 341 Austin TX  
78701

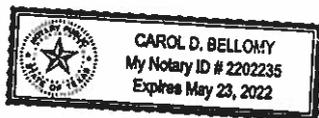
BUYER'S FORWARDING ADDRESS:

\_\_\_\_\_  
\_\_\_\_\_

STATE OF TX  
COUNTY OF Travis

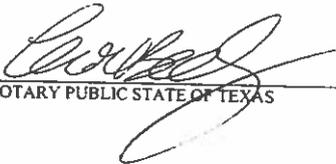
This instrument was acknowledged before me on the 1 day of February, 2019 by Thomas James Schmitt.

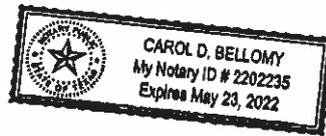
  
NOTARY PUBLIC, STATE OF TEXAS



STATE OF TX  
COUNTY OF Travis

This instrument was acknowledged before me on the 1 day of February, 2019 by Kenneth H. Beck the  
\_\_\_\_\_ of Thistle Dew Ranch LLC and Joyce L. Beck the \_\_\_\_\_  
of Thistle Dew Ranch LLC.

  
\_\_\_\_\_  
NOTARY PUBLIC STATE OF TEXAS



**AFFILIATED BUSINESS ARRANGEMENT  
DISCLOSURE STATEMENT**

From: Independence Title

GF Number: 1838783-BAL

Property: 15502 Mary Street, Volente TX

Date: February 1, 2019

Thank you for contacting Texas American Title Company d/b/a Independence Title (hereinafter "Agent"). This is to give you notice that Agent has a business relationship with Title Resources Guaranty Company, which is a title insurance underwriting company. The owner of Agent is also the owner of Title Resources Guaranty Company. Because of this relationship, this referral of business to the companies below may provide Agent a financial or other benefit.

Set forth below is the estimated charge or range of charges for the services listed. You are NOT required to use the companies below in connection with the provision of services. THERE ARE FREQUENTLY OTHER COMPANIES AVAILABLE WITH SIMILAR SERVICES. YOU ARE FREE TO SHOP AROUND TO DETERMINE THAT YOU ARE RECEIVING THE BEST SERVICES AND THE BEST RATE FOR THESE SERVICES.

COMPANIES	DESCRIPTION OF CHARGES	ESTIMATE OF RANGE OF CHARGES GENERALLY MADE BY PROVIDER										
Title Resources Guaranty Company ("TRGC")	Title insurance premium	Owner's Policy (charges based on policy amount):										
		<table> <tr><td>\$100,000</td><td>\$875</td></tr> <tr><td>\$250,000</td><td>\$1706</td></tr> <tr><td>\$500,000</td><td>\$3091</td></tr> <tr><td>\$1,000,000</td><td>\$5861</td></tr> <tr><td>\$1,500,000</td><td>\$8141</td></tr> </table>	\$100,000	\$875	\$250,000	\$1706	\$500,000	\$3091	\$1,000,000	\$5861	\$1,500,000	\$8141
\$100,000	\$875											
\$250,000	\$1706											
\$500,000	\$3091											
\$1,000,000	\$5861											
\$1,500,000	\$8141											
		Simultaneous Lenders w/Owners:										
		<table> <tr><td>\$100,000</td><td>\$975</td></tr> <tr><td>\$250,000</td><td>\$1806</td></tr> <tr><td>\$500,000</td><td>\$3191</td></tr> <tr><td>\$1,000,000</td><td>\$5961</td></tr> <tr><td>\$1,500,000</td><td>\$8241</td></tr> </table>	\$100,000	\$975	\$250,000	\$1806	\$500,000	\$3191	\$1,000,000	\$5961	\$1,500,000	\$8241
\$100,000	\$975											
\$250,000	\$1806											
\$500,000	\$3191											
\$1,000,000	\$5961											
\$1,500,000	\$8241											

**ACKNOWLEDGEMENT OF RECEIPT OF DISCLOSURE**

I/we have read this disclosure form and understand that Agent is referring me/us to use the above-described companies and may receive a financial or other benefit as the result of this referral.

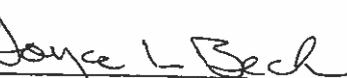
  
Thomas James Schmitt

2/1/19  
Date

Thistle Dew Ranch LLC

by   
Kenneth H. Beck

Thistle Dew Ranch LLC

by   
Joyce L. Beck

**General Warranty Deed**

**Notice of confidentiality rights: If you are a natural person, you may remove or strike any or all of the following information from any instrument that transfers an interest in real property before it is filed for record in the public records: your Social Security number or your driver's license number.**

**Date:** February 1, 2019

**Grantor:** THOMAS JAMES SCHMITT, a single person

**Grantor's Mailing Address:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Grantee:** KJB INVESTMENT II, LLC d/b/a THISTLE DEW RANCH LLC

**Grantee's Mailing Address:**

15911 BOOTH CIRCLE  
VOLENTS, TX 78641  
\_\_\_\_\_

**Consideration:** Cash and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged.

**Property (including any improvements):**

Lot 14, LAKE TRAVIS SUBDIVISION NO. 5, according to the map or plat thereof recorded in Volume 4, Page 81, Plat Records, Travis County, Texas; and that adjacent western one-half of vacated Yantis Street, lying between Lot No. 15, on the East and Lots No.(s) 10 and 14, on the West; said Street being vacated by Order of the Commissioner's Court of Travis County, Texas, and recorded in Volume 5945, Page 670, Deed Records, Travis County, Texas.

**Reservations from Conveyance:** None.

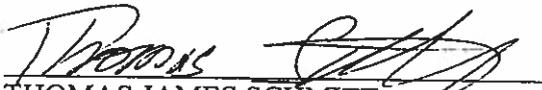
**Exceptions to Conveyance and Warranty:** Liens described as part of the Consideration and any other liens described in this deed as being either assumed or subject to which title is taken; validly existing easements, rights-of-way, and prescriptive rights, whether of record or not; all presently recorded and validly existing restrictions, reservations, covenants, conditions, oil and gas leases, mineral interests, and water interests outstanding in persons other than Grantor, and other instruments, other than conveyances of the surface fee estate, that affect the Property;

validly existing rights of adjoining owners in any walls and fences situated on a common boundary; any discrepancies, conflicts, or shortages in area or boundary lines; any encroachments or overlapping of improvements; and taxes for 2019, which Grantee assumes and agrees to pay, and subsequent assessments for that and prior years due to change in land usage, ownership, or both, the payment of which Grantee assumes.

Grantor, for the Consideration and subject to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty, grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any way belonging, to have and to hold it to Grantee and Grantee's heirs, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty.

By acceptance hereof, Grantee accepts the Property "AS IS" in its present condition, with any and all defects and without warranty except for those warranties of title set forth herein.

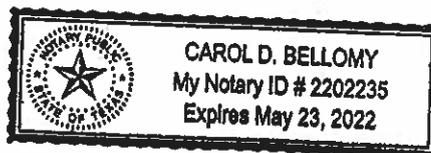
When the context requires, singular nouns and pronouns include the plural.

  
THOMAS JAMES SCHMITT

STATE OF TEXAS       §  
                                  §  
COUNTY OF Travis §

This instrument was acknowledged before me on the 1 day of February, 2019, by THOMAS JAMES SCHMITT.

  
NOTARY PUBLIC, State of Texas



1/10/2020

Collmann  
home



1/10/2020 10:27:02 AM

23936

23936  
Septic

Owner:

Paid By:

**Permit Type**

Permit Type	Type	Amount Paid	Type	Amount Due
OSSF - Conventional System		\$250.00		\$0.00
OSSF - State TCEQ Septic Fee		\$10.00		\$0.00
	<b>Total</b>	<b>\$260.00</b>		<b>\$0.00</b>

**Payments**

Payment ID	Payment Date	Payment Type	Description	Ref. Number	Amount
3111032	01/10/2020	Check - Walk-In	paid by Kenneth and Joyce Beck	4488	\$260.00
				<b>Total</b>	<b>\$260.00</b>

**THIS IS NOT A PERMIT.** This receipt does not authorize you to begin construction of your project

**Tom Partridge, P. E.  
10902 Third St.  
Jonestown, Tx. 78645**

**P. E. #55072  
Firm #F-5812  
Ph: (512) 658-3742  
Email: [topart1140@gmail.com](mailto:topart1140@gmail.com)**

**Date: 9/29/19**

**To: LCRA**

**Re: Collmann Residence  
15502 Mary St.  
Volente, Tx. 78641**

**Attached is a septic plan for the referenced location. The basic details of the plan are as follows:**

**Status: Residential - 4 BR, <3500 Sq. Ft. Flow = 300 gpd**

**Septic System: Leaching Chambers**







## NEW OR MODIFIED OSSF SYSTEMS

If you are planning on installing a new on-site sewage facility (OSSF) or if you are modifying an existing system on your property, please follow the steps below. Having a **complete package** will ensure the process will run smoothly. We will need the following information to consider the application package complete. Please include a copy of this checklist when you submit your application package.

New System

Modified System

### Required Materials

- Completed Application for On-Site Sewage Facilities Authorization to Construction (Form 1101), signed by the property owner and witnessed by a notary public.
- A copy of proof of property ownership in the form of a property deed or tax record.
- See below*  A map with directions to the property.
- Scale drawing or survey of the property showing the residence/establishment, easements, driveway, water wells and other permanent improvements to the property. Also show where temporary erosion controls will be placed during construction.
- Cross-sectional diagrams of the treatment units and all disposal areas.
- A copy of the soil evaluation for the property.
- Floor plan of the residence showing all rooms and interior walls, including closets, with dimensions of the heated/cooled square footage of the residence/establishment. The floor plan should be submitted on 11x17-inch tabloid paper or smaller.
- Sizing calculations for the treatment units and all disposal areas. This information can be provided on the plans or a separate work sheet and must include 1) the minimum liquid capacity of the tank or treatment unit based on the Tables II and III of TAC 30 §285.91; 2) the capacity to be provided by the tank or treatment unit; 3) the minimum disposal area required based on Table I TAC 30 §285.91 and §285.33; 4) the disposal area to be provided at the OSSF site; and 5) any supplemental calculations from §285.33 relevant to the proposed disposal system.
- NA*  Two sets of drawings of the OSSF are required for any drawings larger than 11x17 inches.
- A copy of the floodplain compliance letter or building/development permit from the appropriate floodplain administrator.
- For lots less than 1 acre, a copy of a recorded plat of the property with all associated plat notes. Provide two copies of the plat or contact our office to arrange to email the plat if the pages are larger than 11x17 inches.
- NA*  For surface/drip irrigation, aerobic with disinfection and evapotranspirative (ET) systems, a copy of the executed "Affidavit to the Public" must be submitted after it has been filed with the appropriate county. For surface/drip irrigation, aerobic with disinfection and ET systems, a copy of the executed "Affidavit to the Public" must be submitted after it has been filed with the appropriate county, along with a copy of the executed maintenance contract.
- NA*  TCEQ requires the OSSF to be installed on the same lot as the house. If space does not permit, another lot may be used under very specific conditions. Contact LCRA's office for additional submittal requirements.
- The appropriate application fee of \$260 for conventional systems (even if prepared by a registered sanitarian or professional engineer) or \$410 for professionally designed systems (systems identified on TAC 30 §285.91 Table IX as requiring a registered sanitarian or professional engineer design). Refer to the fee schedule for additional fees applicable to commercial systems disposing of more than 500 gallons per day.
- NA*  For surface/drip irrigation, aerobic with disinfection and ET systems, a minimum two- year contract with a licensed/certified maintenance provider.

*Volente*

**Preparation of Property:** Prior to submitting your application, you must mark the lot to show the following:

- Note* 1. Proposed location of the septic tank, drain field, and house/establishment foundation area.
- 2. The property must be marked with a sign that can be seen from the road and includes the owner's name, address and/or legal description of the property. Information on this notice is used by the inspector when conducting inspections.

*Note* **Variations:** If you are requesting a variance to a rule/requirement, please submit a written request prepared by a registered sanitarian (R.S.) or professional engineer (P.E.) stating the rule that cannot be met and demonstrating equivalent or greater protection of public health and environment can be provided with an alternative means with this package. Variations for setback reductions will not be granted if a system that complies with the rules can be installed.

P.O. Box 220 L110, Austin, TX 78767  
 512-578-3216 or 800-776-5272, Ext 3216  
 Fax 512-578-3501



2643 N. Wirtz Dam Road, Marble Falls, TX 78654  
 Fax 830-693-6242

## SOIL ANALYSIS FOR AN ON-SITE SEWAGE FACILITY

The following information must be submitted with the application package for review by LCRA.  
 Failure to include or address all of the following items may result in approval delays.

Site Information		Site Evaluator	
Name of Owner	Collmann Residence	Name	Tom Partridge, P.E.
Site Address	15502 Mary St.	Address	10902 3rd St.
City, State, ZIP	Valente, TX 78641	City, State, ZIP	Jonestown, TX 78645
Phone No.	(512) 917-5188	Phone No.	(512) 658-3742
County	Travis	County	Travis

**SITE EVALUATION:** A minimum of two backhoe pits must be excavated at opposite ends of the proposed disposal area. The pits must be excavated to a depth of 2 feet below the proposed excavation, or to a restrictive horizon, whichever is less. The pit locations must be indicated. The site evaluation report shall include a groundwater evaluation, a surface drainage analysis and all applicable minimum separation requirements

Backhoe Pit No.: PH-1

Depth (Feet)	Soil Class	Gravel Analysis	Restrictive Horizon	Groundwater	Topography	Flood Hazard
0	III	<30%	None	None	<30%	None
1	↓	↓	↓	↓	↓	↓
2	↓	↓	↓	↓	↓	↓
3	↓	↓	↓	↓	↓	↓
4	↓	↓	↓	↓	↓	↓
5	63"	↓	↓	↓	↓	↓

Backhoe Pit No.: PH-2

Depth (Feet)	Soil Class	Gravel Analysis	Restrictive Horizon	Groundwater	Topography	Flood Hazard
0	III	<30%	None	None	<30%	None
1	↓	↓	↓	↓	↓	↓
2	↓	↓	↓	↓	↓	↓
3	↓	↓	↓	↓	↓	↓
4	57"	↓	↓	↓	↓	↓
5						

I certify that the results of this report are based on my site observations and are accurate to the best of my ability.

Site Evaluator Tom Partridge

Date 10/2/19

TOM PARTRIDGE, P. E.  
P.E. 55072, Firm # F-5812

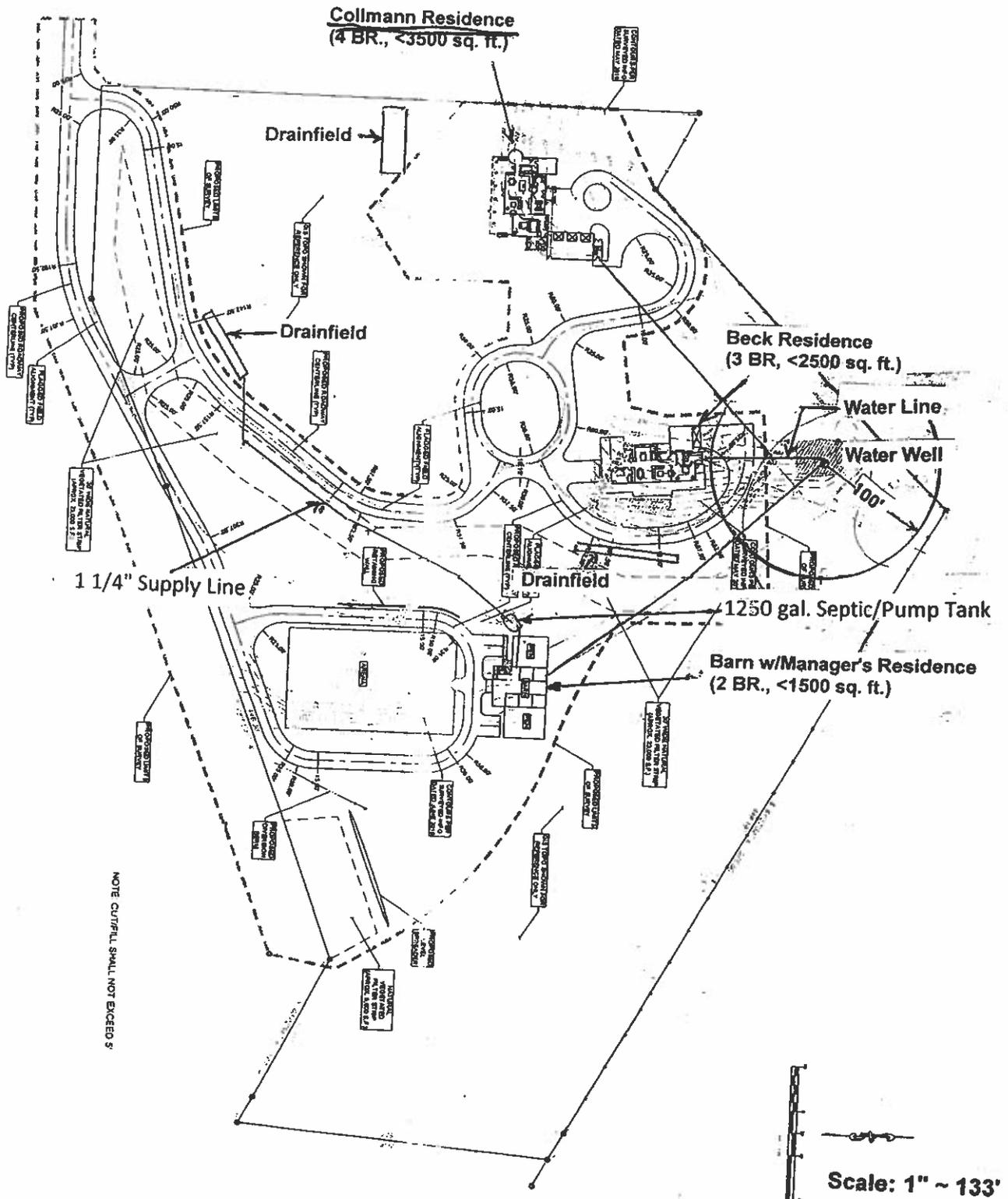
**15502 Mary St.**  
**Pg. 1/6**

Project Description: 3 BR, <2500 sq. ft. Flow = 240 gpd

Drain-field Size:  $A = Q/Ra = 240/0.2 = 1200$  sq. ft.  
Trench Length =  $[1200 / (3 + 2)] \times 0.75 = 180'$  min.  
Drainfield Area =  $180' \times 5$  sq. ft./ft. = 900 sq. ft. (min.)  
Install 184' of chambers. Area =  $184' \times 5$  sq. ft./ft. = 920 sq. ft.  
End caps = 6.12 sq. ft./pair of caps  $\times 2$  pair = 12.24 sq. ft.  
Actual area =  $920 + 12.24 = 932.24$  sq. ft. >900 sq. ft. min, thus OK

Tanks: Septic: 750 gal., 2c

15502 Mary St.  
Pg. 2/6



**System Components**

- 1- Bldg.
- 2- Two way cleanout - additional clean out required every 100' on long pipe runs, & @ 90 deg. bends.
- 3- 3" or 4" Sch. 40 PVC sewer, min. slope 1/8"/ft.
- 4- 1000 gal, 2c septic tank, set min. 5' from foundation, surface improvements & drainfield
- 5- 3-4" Sch. 40, PVC supply line w/sufficient slope to provide 12" elevation difference between tank outlet & bottom of first trench
- 6- Each trench to have monitoring port
- 7- Water line - No part of septic to be within 10' of water line, except at slab, but they must separate to 10' as soon as possible. If water & septic lines cross, the crossing shall comply w/ TCEQ Chap. 290.
- 8- Runoff diversion berm
- 9- Silt fence

**Notes:**

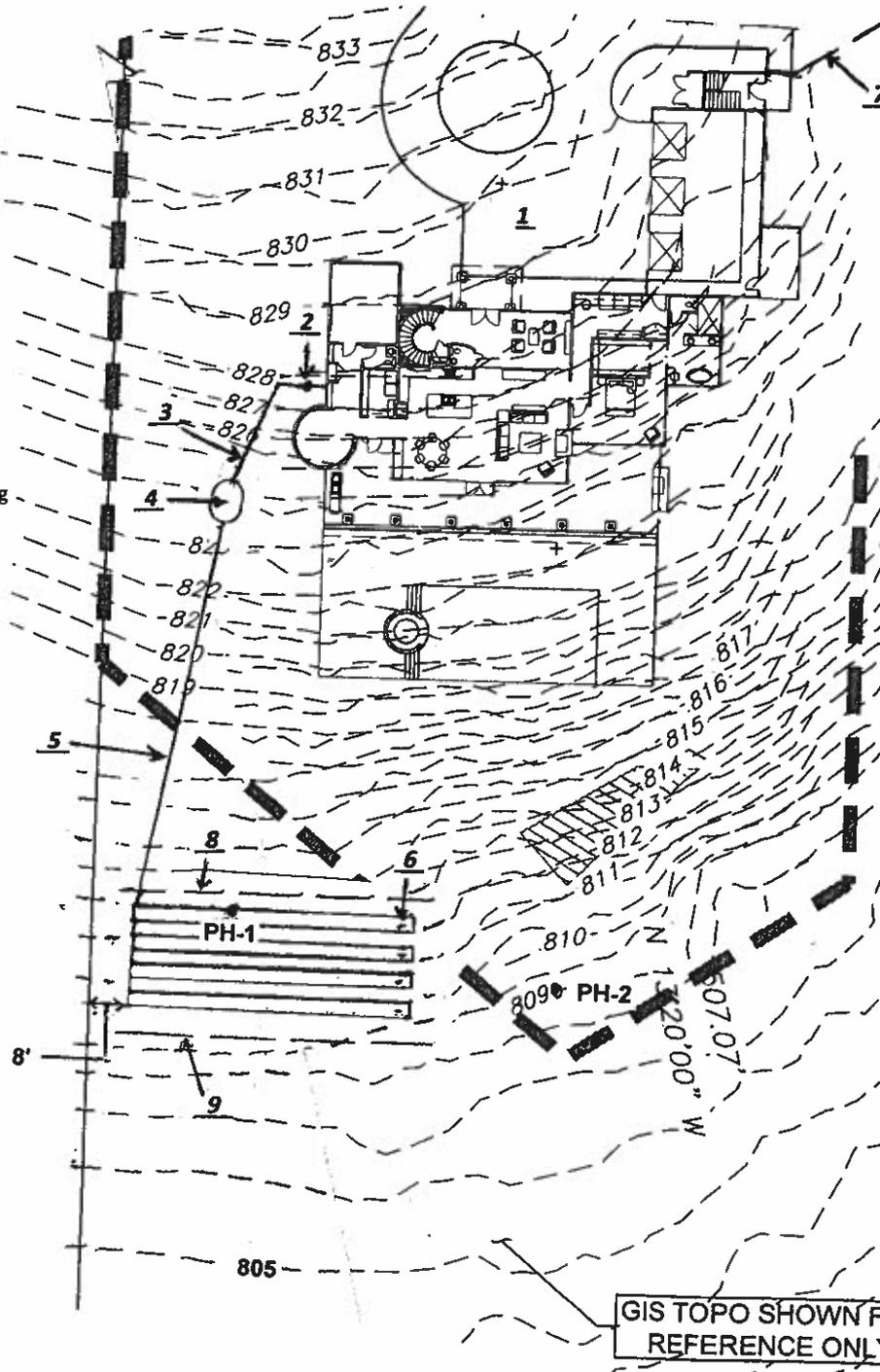
- 1- Pipe bedding from bldg. to tank, & from tank to drain field shall be bedded w/min. 4" of Class Ib, II or III soil w/less than 30% gravel. Bedding shall be free of organic material & rocks & grains larger than >1/2".
- 2- If sewer/supply lines cross traffic area, or run parallel & within 5' of a foundation or surface improvement, the line shall be sleeved with Sch. 40 PVC or be Sch. 80 PVC.

Note: Home is not below 100 yr. floodplain elev., nor is any part of septic system below 691', MSL.

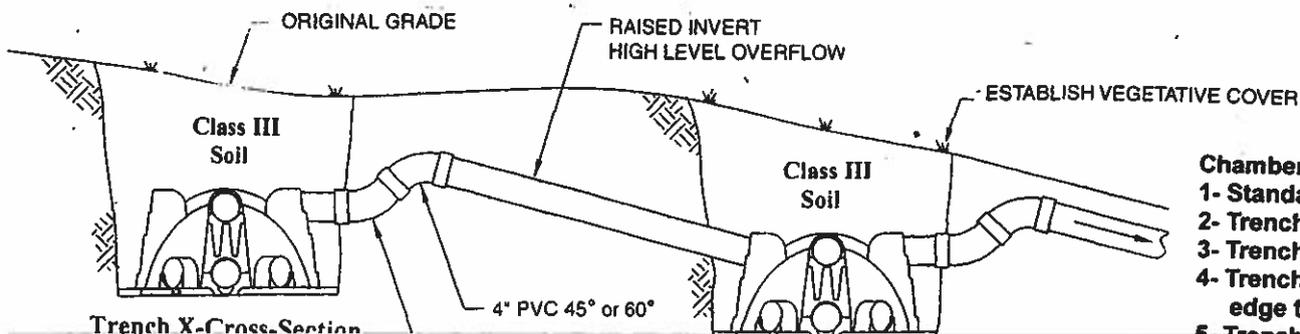
North ↑

Scale: 1" = 40'

Note: Drainfield consists of 4 trenches w/56' of chambers each. Total = 224' Trenches are 59' long w/end caps.



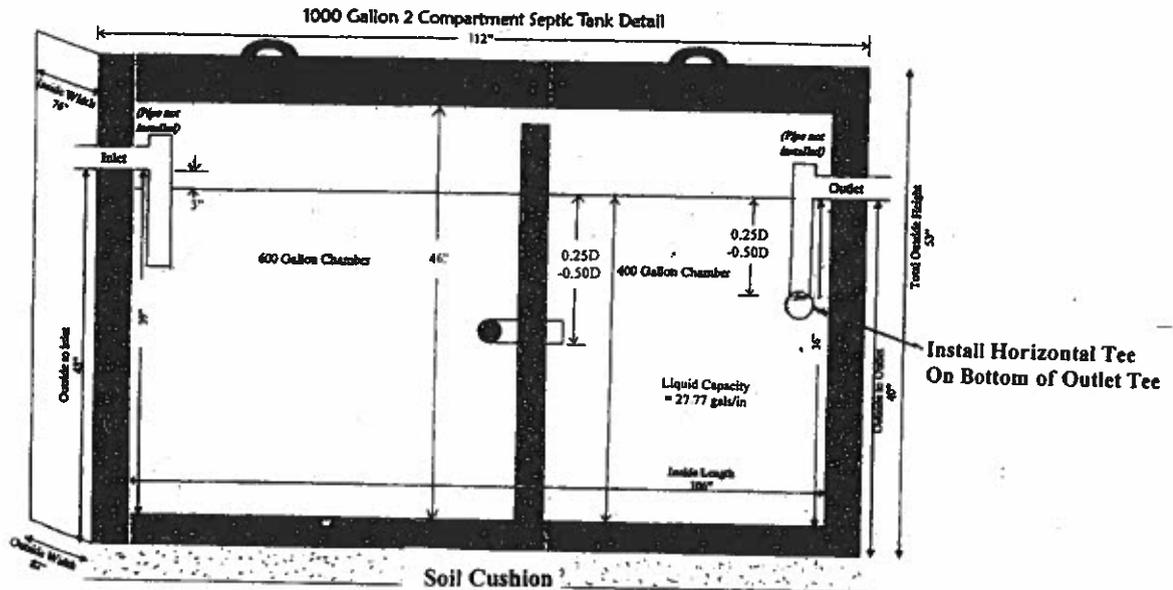
**SERIAL DISTRIBUTION SYSTEM ON SLOPING TERRAIN**



- Chamber Installation Notes:**
- 1- Standard Quik 4 Plus Infiltrator
  - 2- Trench Depth - 18-24" Max.
  - 3- Trench Width - 36"
  - 4- Trench Spacing - 3' min. edge to edge
  - 5- Trench Level - 4" above

15502 Mary St.  
Pg. 4/6

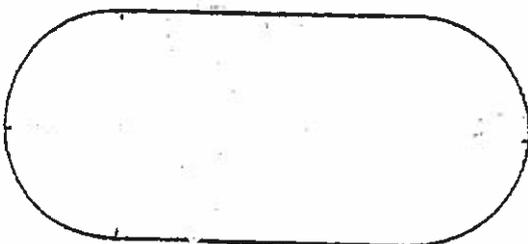
**Buchanan Septic Tanks, Inc.**  
P.O. Box 297 \* 15648 Hwy. 29 \* Buchanan Dam, TX 78609  
512-793-3100 \* Fax 512-793-4047



**Tank Installation Notes**

- (1) A min. of 4" of sand, sandy loam, clay loam(not recommended) or pea gravel free of rocks larger than pea gravel, to be placed under and around all precast tanks, and sufficiently watered to preclude excessive settlement. Class IV soil and gravel larger than 1/2" are not acceptable. If tanks extend above ground surface, soil can be mounded over tank to maintain slope.
- (2) Tank depth may vary but not exceed 12" unless a riser is installed on any cleanout, and extends to within 6" of ground.
- (3) Tank to be tightness tested with water. Pipe joints, risers and lids to be sealed.

- (4) All inspection cleanout/ports >12" dia. shall have risers to ground surface. Riser shall be permanently fastened to tank lid. The riser lid shall screw down or have a lock or weigh 65 lbs. A secondary plug, cap, netting, etc., or as approved by Authority, shall be provided below the riser lid. Septic tanks are the only tanks that do not require risers to ground surface. However, if they are more than 12" below ground surface, they must have a riser to within 6" of ground surface and the riser must comply with the above. Trash tanks are not considered septic tanks. Only one riser will be required on a pump tank when the pump is placed on the inlet side of the tank. If the pump is placed on the opposite side of the inlet piping, then two risers to ground are required.
- (5) If a tablet chlorinator is required for inlet to pump tank, a "chlorinator block" can be used to provide direct access for placing tablets.



**General Tank Shape**

15502 Mary St. :

Pg. 5/6

**Installation Notes**

- All piping to be Sch. 40, unless otherwise noted.
  
- The drainfield should be vegetated to promote evapotranspiration & runoff. Seeding should typically be rye for winter & bermuda for summer. The surface should be sloped to drain away precipitation.
  
- If Contractor finds a conflict between Plan & Department Construction Permit, or generally accepted standards/practice, no work should be performed until conflict is resolved.
  
- The Contractor bears all responsibility for actions resulting from interpreting the Plan. If Plan is not clear, the Engineer should be consulted.
  
- The Contractor should not change the Plan significantly w/o expressed approval of Engineer.

15502 Mary St.

Pg. 6/6

### Operation & Maintenance

The performance of a septic system depends upon many factors, including but not limited to, soil type, permeability, depth to rock and/or ground water, season of the year, climate, average waste water flow, waste water loading, and waste water quality. The majority of the soil and ground water conditions in central Texas is not conducive to the successful performance of a septic system, even when the system is designed & installed in accordance w/applicable standards. Therefore, it is highly recommended that the owner/operator adhere to certain practices to enhance & promote successful system performance.

- 1- Water softener discharge **should not** be discharged to the septic system.
- 2- Healthy grass should be maintained on the drainfield throughout the year. Generally, bermuda is recommended for summer, and rye for winter.
- 3- **The permitted waste water daily flow rate should never be exceeded.** If this is occurring, likely sources include excessive loading from showering & laundry washing, leaky plumbing, and faulty toilet tank. Heavy waste water loading should be avoided. Continuous & successive loads of washing is discouraged. Wash at non-peak hours if possible, such as mid morning, afternoons, and late evening. Long showers are discouraged. If possible, route grey water to separate disposal area.
- 4- Non-biodegradable products should not be discharged to the system.
- 5- If it is desired to pump tanks, if possible, pump the tanks during periods of heavy rainfall, or in the winter when evapotranspiration is minimal. This will allow the drainfield to dry while the tank is being refilled.
- 6- If field seeps, it may require enlargement. Actual drainfield performance can not be accurately predicted, considering the many variables mentioned above affecting field performance.
- 7- During freezing weather, if it is necessary to leave faucets dripping, catch water & pour it outside. This is especially important during extended periods of freezing weather.
- 8- If alarm activates, minimize use of the system until an installer can trouble-shoot the problem.
- 9- Also, if alarm activates, and installer is not immediately available, consider pumping the tank(s) to eliminate loading the system.
- 10- Roofs sloping toward drainfield should have gutters to divert runoff.
- 11- It is noted that even though the system may meet all applicable standards with respect to design & installation, no guarantee or warranty is implied nor given with respect to a trouble-free system, given the many variables affecting system performance.

Ben

1/10/2020



23937

1/10/2020 10:31:09 AM

23937  
Septic

Owner:

Paid By:

**Permit Type**

Permit Type	Type Amount Paid	Type Amount Due
OSSF - Conventional System	\$250.00	\$0.00
OSSF - State TCEQ Septic Fee	\$10.00	\$0.00
<b>Total</b>	<b>\$260.00</b>	<b>\$0.00</b>

**Payments**

Payment ID	Payment Date	Payment Type	Description	Ref. Number	Amount
3111044	01/10/2020	Check - Walk-In	PAID BY KENNETH AND JOYCE BECK	4488	\$260.00
<b>Total</b>					<b>\$260.00</b>

**THIS IS NOT A PERMIT.** This receipt does not authorize you to begin construction of your project

**Tom Partridge, P. E.  
10902 Third St.  
Jonestown, Tx. 78645**

**P. E. #55072  
Firm #F-5812  
Ph: (512) 658-3742  
Email: [topart1140@gmail.com](mailto:topart1140@gmail.com)**

**Date: 9/29/19**

**To: LCRA**

**Re: Barn Residence  
15502 Mary St.  
Volente, Tx. 78641**

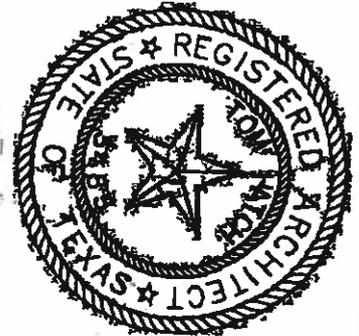
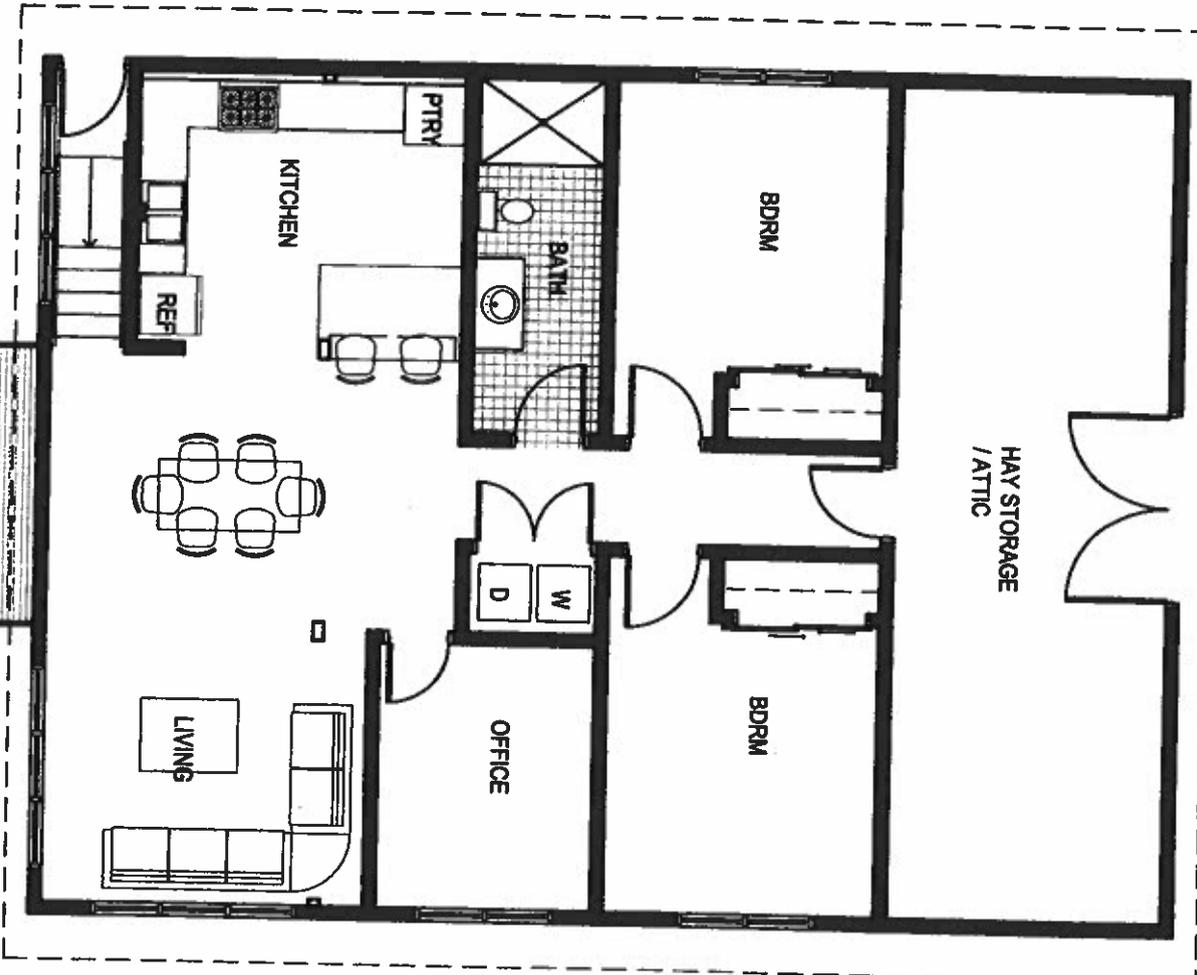
**Attached is a septic plan for the referenced location. The basic details of the plan are as follows:**

**Status: Residential - 2 BR, <1500 Sq. Ft. Flow = 180 gpd**

**Septic System: Leaching Chambers**

**BARN APARTMENT - SECOND FLOOR**

SCALE: 1/8" = 1'-0"



TOM HATCH 1002719

**COLLMANN BARN**

15502 Mary St.

hatch + ulford owen  
architects  
1010 East 11th Street  
Austin, Texas 78702  
T: 512.474.8548  
F: 512.474.8543  
www.hoarchitects.com



1500 The Collmann Barn is a new construction project. The architectural drawings were prepared by Hatch + Ulford Owen Architects, Inc. (H+O) for the purpose of obtaining a building permit. The drawings are not to be used for any other purpose without the written consent of H+O. The drawings are the property of H+O and are not to be reproduced, copied, or distributed in any form without the written consent of H+O. The drawings are not to be used for any other purpose without the written consent of H+O. The drawings are the property of H+O and are not to be reproduced, copied, or distributed in any form without the written consent of H+O.



## NEW OR MODIFIED OSSF SYSTEMS

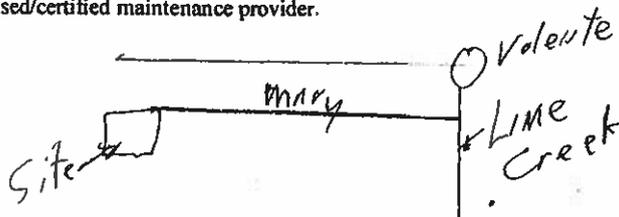
If you are planning on installing a new on-site sewage facility (OSSF) or if you are modifying an existing system on your property, please follow the steps below. Having a complete package will ensure the process will run smoothly. We will need the following information to consider the application package complete. Please include a copy of this checklist when you submit your application package.

New System

Modified System

### Required Materials

- Completed Application for On-Site Sewage Facilities Authorization to Construction (Form 1101), signed by the property owner and witnessed by a notary public.
- A copy of proof of property ownership in the form of a property deed or tax record.
- See below  A map with directions to the property.
- Scale drawing or survey of the property showing the residence/establishment, easements, driveway, water wells and other permanent improvements to the property. Also show where temporary erosion controls will be placed during construction.
- Cross-sectional diagrams of the treatment units and all disposal areas.
- A copy of the soil evaluation for the property.
- Floor plan of the residence showing all rooms and interior walls, including closets, with dimensions of the heated/cooled square footage of the residence/establishment. The floor plan should be submitted on 11x17-inch tabloid paper or smaller.
- Sizing calculations for the treatment units and all disposal areas. This information can be provided on the plans or a separate work sheet and must include 1) the minimum liquid capacity of the tank or treatment unit based on the Tables II and III of TAC 30 §285.91; 2) the capacity to be provided by the tank or treatment unit; 3) the minimum disposal area required based on Table I TAC 30 §285.91 and §285.33; 4) the disposal area to be provided at the OSSF site; and 5) any supplemental calculations from §285.33 relevant to the proposed disposal system.
- None  Two sets of drawings of the OSSF are required for any drawings larger than 11x17 inches.
- A copy of the floodplain compliance letter or building/development permit from the appropriate floodplain administrator.
- vs ac  For lots less than 1 acre, a copy of a recorded plat of the property with all associated plat notes. Provide two copies of the plat or contact our office to arrange to email the plat if the pages are larger than 11x17 inches.
- NA  For surface/drip irrigation, aerobic with disinfection and evapotranspirative (ET) systems, a copy of the executed "Affidavit to the Public" must be submitted after it has been filed with the appropriate county. For surface/drip irrigation, aerobic with disinfection and ET systems, a copy of the executed "Affidavit to the Public" must be submitted after it has been filed with the appropriate county, along with a copy of the executed maintenance contract.
- NA  TCEQ requires the OSSF to be installed on the same lot as the house. If space does not permit, another lot may be used under very specific conditions. Contact LCRA's office for additional submittal requirements.
- The appropriate application fee of \$260 for conventional systems (even if prepared by a registered sanitarian or professional engineer) or \$410 for professionally designed systems (systems identified on TAC 30 §285.91 Table IX as requiring a registered sanitarian or professional engineer design). Refer to the fee schedule for additional fees applicable to commercial systems disposing of more than 500 gallons per day.
- NA  For surface/drip irrigation, aerobic with disinfection and ET systems, a minimum two-year contract with a licensed/certified maintenance provider.



**Preparation of Property:** Prior to submitting your application, you must mark the lot to show the following:

- ✓ 1. Proposed location of the septic tank, drain field, and house/establishment foundation area.
- ② 2. The property must be marked with a sign that can be seen from the road and includes the owner's name, address and/or legal description of the property. Information on this notice is used by the inspector when conducting inspections.

*None*

**Variances:** *If you are requesting a variance to a rule/requirement, please submit a written request prepared by a registered sanitarian (R.S.) or professional engineer (P.E.) citing the rule that cannot be met and demonstrating equivalent or greater protection of public health and environment can be provided with an alternative means with this package. Variances for setback reductions will not be granted if a system that complies with the rules can be installed.*

P.O. Box 220 S-204P, Austin, TX 78767  
 512-578-3216 or 800-776-5272, Ext. 3216  
 Fax 512-578-3501



2643 N. Wirtz Dam Road, Marble Falls, TX 78654  
 Fax 830-693-6242

## SOIL ANALYSIS FOR AN ON-SITE SEWAGE FACILITY

The following information must be submitted with the application package for review by LCRA.  
 Failure to include or address all of the following items may result in approval delays.

Site Information		Site Evaluator	
Name of Owner	BARN	Name	Tom Partridge
Site Address	15502 Mary St.	Address	19902 3rd St.
City, State, ZIP	Volente, TX 78641	City, State, ZIP	Jonestown, TX 78645
Phone No.	(512) 917-5188	Phone No.	(512) 658-3742
County	Travis	County	Travis

**SITE EVALUATION:** A minimum of two backhoe pits must be excavated at opposite ends of the proposed disposal area. The pits must be excavated to a depth of 2 feet below the proposed excavation, or to a restrictive horizon, whichever is less. The pit locations must be indicated. The site evaluation report shall include a groundwater evaluation, a surface drainage analysis and all applicable minimum separation requirements.

Backhoe Pit No.: PH-1

Depth (Feet)	Soil Class	Gravel Analysis	Restrictive Horizon	Groundwater	Topography	Flood Hazard
0	III	<30%	None	None	<30%	None
1	↓	↓	↓	↓	↓	↓
2	↓	↓	↓	↓	↓	↓
3	↓	↓	↓	↓	↓	↓
4	↓	↓	↓	↓	↓	↓
5	66"	↓	↓	↓	↓	↓

Backhoe Pit No.: PH-2

Depth (Feet)	Soil Class	Gravel Analysis	Restrictive Horizon	Groundwater	Topography	Flood Hazard
0	III	<30%	None	None	<30%	None
1	↓	↓	↓	↓	↓	↓
2	↓	↓	↓	↓	↓	↓
3	↓	↓	↓	↓	↓	↓
4	↓	↓	↓	↓	↓	↓
5	63"	↓	↓	↓	↓	↓

I certify that the results of this report are based on my site observations and are accurate to the best of my ability.

Site Evaluator

*[Signature]*

Date

10/2/19

15502 Mary St.

Pg. 1/7

Project Description: Residential 2 BR, <1500 sq. ft., Flow = 180 gpd

Drain-field Size:  $A = Q/Ra = 180/0.2 = 900$  sq. ft.

Trench Length =  $0.75 [900 / (3 + 2)] = 135'$  min. Install 2 trenches w/68' of Quik 4 Plus Standard Chambers Total = 136' Trenches will be 71' long with end caps.

Tanks: Septic: 750 gal., 2c Pump: 500 gal., 1c Note: Use 1250 gal., 3c tank

Dosing Rate: Use 3 doses/day @ 60 gals./dose

Pump to operate @ 2' of open discharge at 5 gpm.

Friction Head(1/4" Supply Line):  $1.2 \times (340' \times 0.39/100) = 1.6'$

Elevation Head: Pump Depth = 4' Elev. Diff. = +21' Pressure Head = 2' Total Elev. = 27'

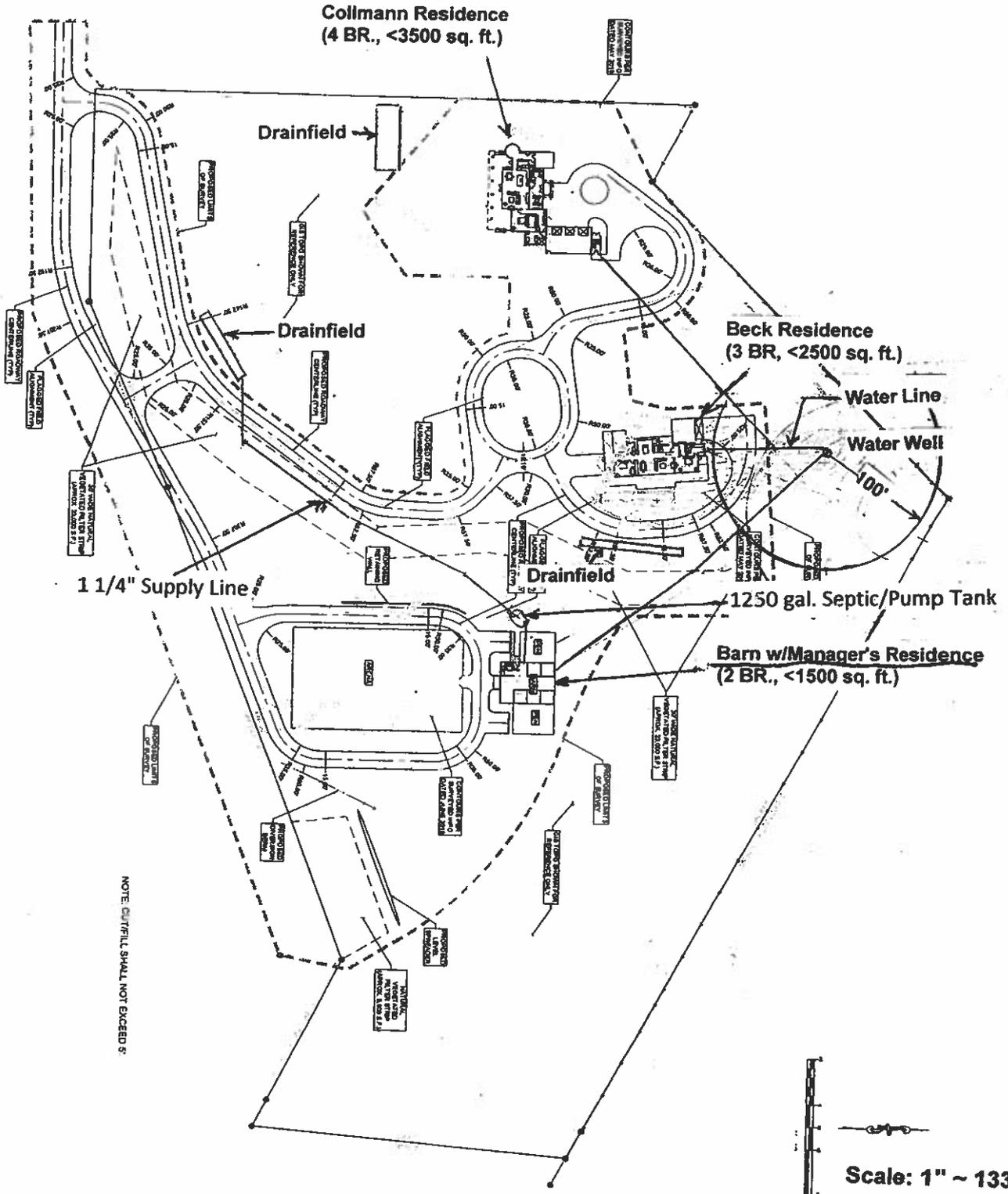
Total Head = 29' (rounded)

Pump: Use Liberty 290 Series 3/4 hp

Dosing Volume:  $V = 60 \text{ gals./dose} / 13.88 \text{ gals/in} = 4.3''$  (round to 5")

Float Settings (From Floor): Off - 10" On - 15" Alarm - 18"

Reserve Above Alarm:  $(36 - 18) \times 13.88 \text{ gals./in} = 250 \text{ gals.}$  (exceeds one day flow of 180 gals.)



<b>C1</b> SHEET 1 of 1	DRIVEWAY ALIGNMENTS		<b>10.5 ACRES</b> <b>MARY STREET</b> <b>VOLENTE, TEXAS</b>  <b>HUO ARCHITECTS</b>		FOR REVIEW ONLY - NOT FOR CONSTRUCTION  <small>APPROVED BY ARCHITECT</small>	<b>TDI*</b> <b>ENGINEERING</b>	TDI Engineering, LLC 6905 Old Proving Ground Road, Suite 200 Houston, TX 77040 281-302-0300   www.tdi-eng.com	CIVIL & STRUCTURAL ENGINEERING HOUSTON, TEXAS
	ISSUE DATE	PROJECT #						
	09/15/19	302-170						*THINK DESIGN Innovate, Integrate, Implement...

**System Components**

- 1- Bldg.
- 2- Two way clean out - additional cleanout required every 100' on long pipe runs, & @ 90 deg. bends.
- 3- 3" or 4" Sch. 40 PVC sewer, min. slope 1/8"/ft.
- 4- 1250 gal, 3c septic/pump tank, set min. 5' from foundation & surface improvements. First two compartments are 750 gal., 2c septic tank. Third compartment is 500 gal. pump tank.
- 5- 1 1/4" Sch. 40 PVC supply line. Install Infiltrator splash plate below the inlet to preclude trench bottom erosion & scouring.
- 6- Each trench to have monitoring port
- 7- Water line - No part of drain field to be within 10' of water line, except at slab, but they must separate to 10' as soon as possible. If water & septic lines cross, the crossing shall comply w/ TCEQ Chap. 290. Also see preceding page for line location.
- 8- Silt fence
- 9- Runoff diversion berm

**Notes:**

- 1- Pipe bedding from bldg. to tank, & from tank to drain field shall be bedded w/min. 4" of Class lb, II or III soil w/less than 30% gravel. Bedding shall be free of organic material & rocks & grains larger than >1/2".
- 2- If sewer/supply lines cross traffic area, or run parallel & within 5' of a foundation or surface improvement, the line shall be sleeved with Sch. 40 PVC or be Sch. 80 PVC.

**Note: No part of home is below 100 yr. floodplain, nor is any part of septic below 691 ft., MSL.**

PROPOSED ROADWAY CENTERLINE (TYP)

FLAGGED FIELD ALIGNMENT (TYP)

Control Panel - mounted on or adjacent to barn 2-4' off ground

PROPOSED RETAINING WALL

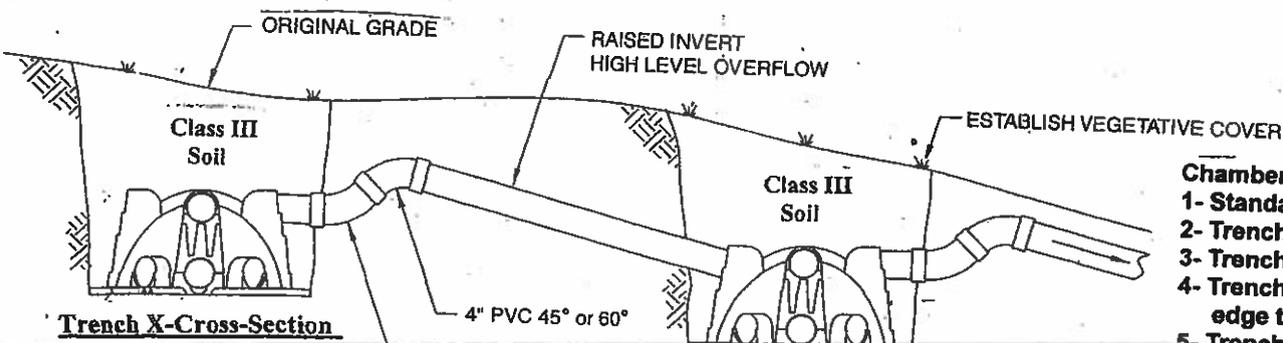
Arena

North

Scale: 1" = 40'

**Note: Drainfield consists of two trenches w/68' of chambers. Total = 136' Trenches are ~71' long w/end caps**

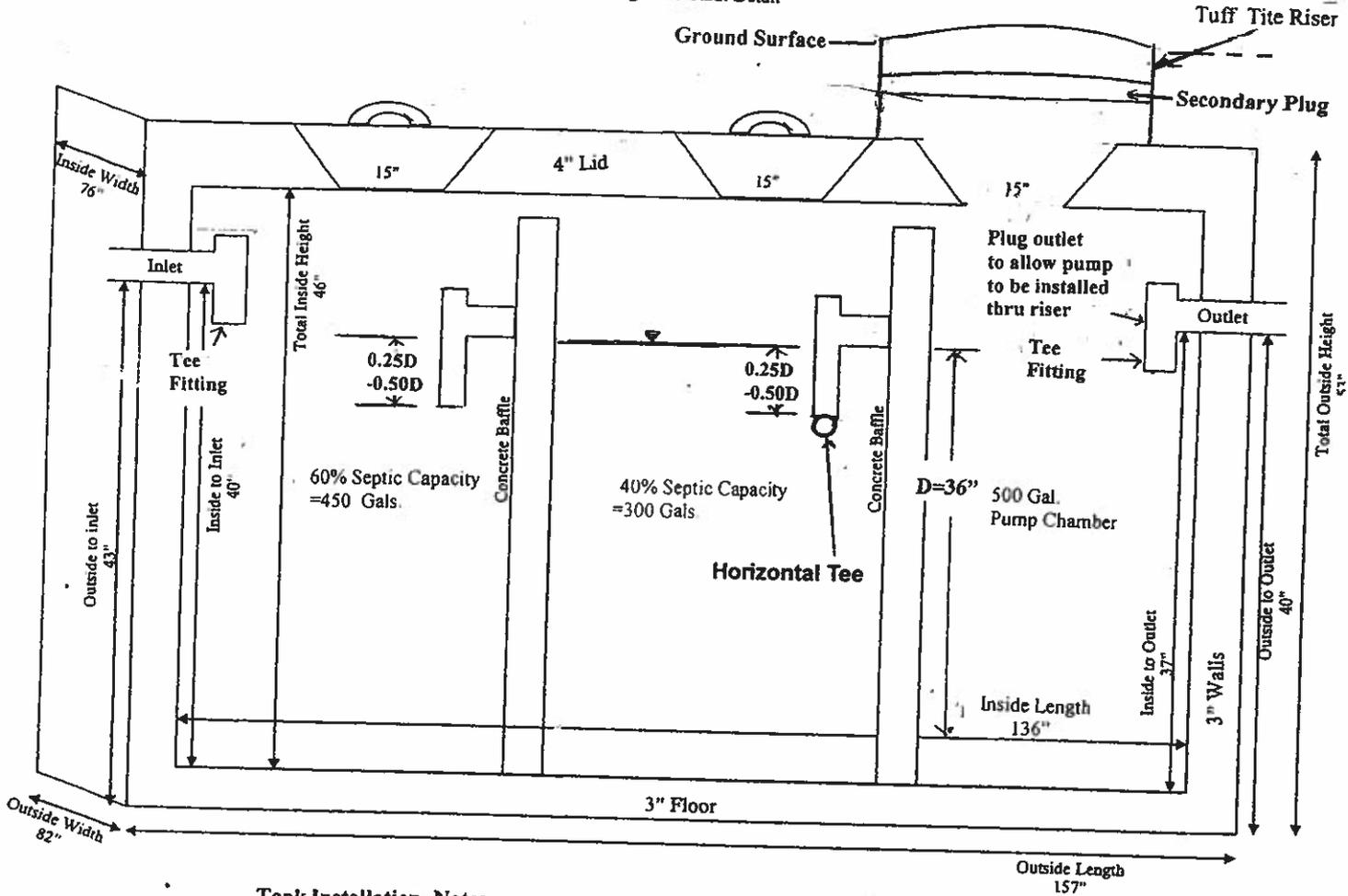
**SERIAL DISTRIBUTION SYSTEM ON SLOPING TERRAIN**



- Chamber Installation Notes:**
- 1- Standard Quik 4 Plus Infiltra
  - 2- Trench Depth - 18-24" Max.
  - 3- Trench Width - 36"
  - 4- Trench Spacing - 3' min. edge to edge
  - 5- Trench Level - 41105"

**Buchanan Septic Tanks, Inc.**  
P. O. Box 297 15648 Hwy. 29 \* Buchanan Dam, TX 78609  
512-793-3100 \* Fax 512-793-4047

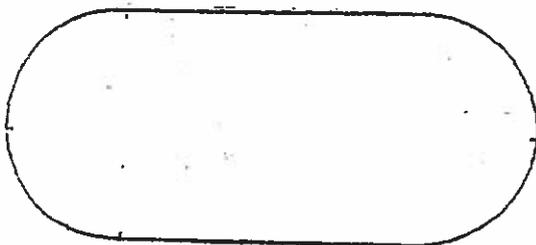
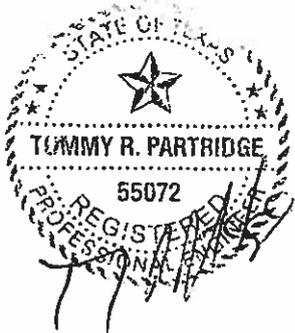
1250 gal. 3c Tank Detail



**Tank Installation Notes**

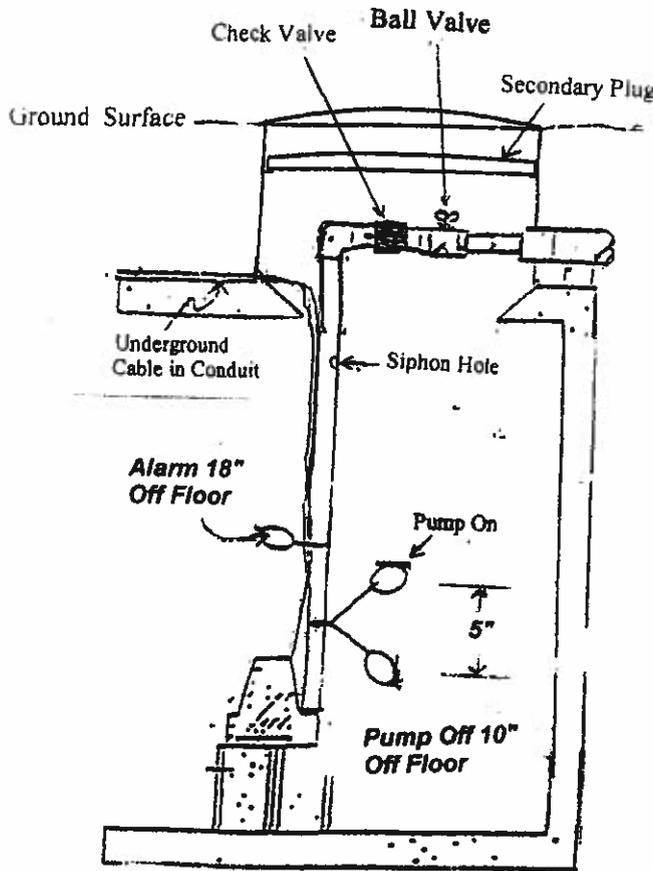
- (1) A min. of 4" of sand, sandy loam, clay loam (not recommended) or pea gravel free of rocks larger than pea gravel, to be placed under and around all precast tanks, and sufficiently watered to preclude excessive settlement. Class IV soil and gravel larger than 1/2" are not acceptable. If tanks extend above ground surface, soil can be mounded over tank to maintain slope.
- (2) Tank depth may vary but not exceed 12" unless a riser is installed on any cleanout, and extends to within 6" of ground.
- (3) Tank to be tightness tested with water. Pipe joints, risers and lids to be sealed.

- (4) All inspection cleanout/ports >12" dia. shall have risers to ground surface. Riser shall be permanently fastened to tank lid. The riser lid shall screw down or have a lock or weigh 65 lbs. A secondary plug, cap, netting, etc., or as approved by Authority, shall be provided below the riser lid. Septic tanks are the only tanks that do not require risers to ground surface. However, if they are more than 12" below ground surface, they must have a riser to within 6" of ground surface and the riser must comply with the above. Trash tanks are not considered septic tanks. Risers are required on all cleanout ports of pump tanks.
- (5) If a tablet chlorinator is required for inlet to pump tank, a "chlorinator block" can be used to provide direct access for placing tablets.

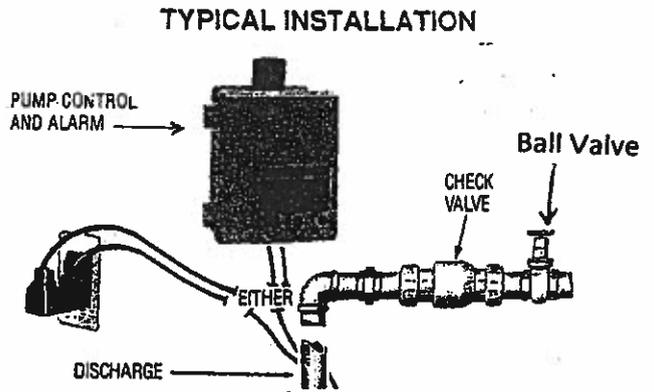


**General Tank Shape**

Note: Use ball valve to regulate flow to drain field.



**Pumping Tank Detail**



**PUMP INSTALLATION DETAILS**

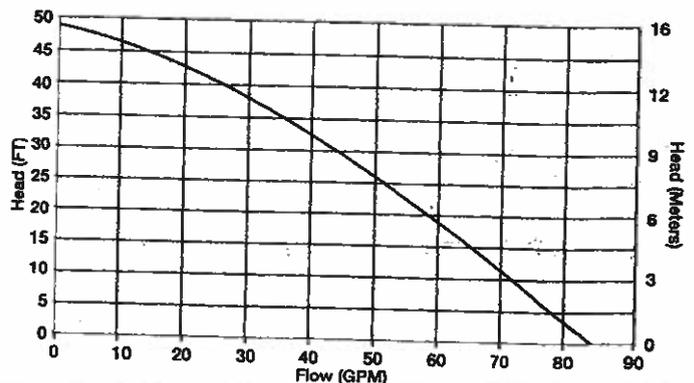
- (1) Pump/Float and Alarm can be installed by plugging into weatherproof plug-in junction box and then to control panel, or can be hardwired to control panel (see figure above).
- (2) Pump/Float and Alarm to be on separate circuits.
- (3) Control panel to be mounted on house near sewer stub, 2-4' off ground.
- (4) Control Panel RJR-LPD B-1 w/audible/visual alarm

# 290-SERIES

## 3/4 hp Submersible Effluent/Sump Pumps

The Liberty 290 series provides a cost effective "mid-range" pump for on-site waste water systems, liquid waste transfer and commercial heavy-duty sump pump applications that require higher head or more flow. Designed around Liberty's unique "Uni-Body" casting, the 290-Series will provide years of reliable performance.

**Performance Curve: 290-Series**



15502 Mary St.

Pg. 6/7

**Installation Notes**

- All piping to be Sch. 40, unless otherwise noted.
- If Contractor finds a conflict between Plan & Department Construction Permit, or generally accepted standards/practice, no work should be performed until conflict is resolved.
- The Contractor bears all responsibility for actions resulting from interpreting the Plan. If Plan is not clear, the Engineer should be consulted.
- The Contractor should not change the Plan significantly w/o expressed approval of Engineer.
- Any bare spots in drainfield should be covered w/soil and seeded.

15502 Mary St.

Pg. 7/7

### Operation & Maintenance

The performance of a septic system depends upon many factors, including but not limited to, soil type, permeability, depth to rock and/or ground water, season of the year, climate, average waste water flow, waste water loading, and waste water quality. The majority of the soil and ground water conditions in central Texas is not conducive to the successful performance of a septic system, even when the system is designed & installed in accordance w/applicable standards. Therefore, it is highly recommended that the owner/operator adhere to certain practices to enhance & promote successful system performance.

- 1- Water softener discharge should not be discharged to the septic system.
- 2- Healthy grass should be maintained on the drainfield throughout the year. Generally, bermuda is recommended for summer, and rye for winter.
- 3- The permitted waste water daily flow rate should never be exceeded. If this is occurring, likely sources include excessive loading from showering & laundry washing, leaky plumbing, and faulty toilet tank. Heavy waste water loading should be avoided. Continuous & successive loads of washing is discouraged. Wash at non-peak hours if possible, such as mid morning, afternoons, and late evening. Long showers are discouraged. If possible, route grey water to separate disposal area.
- 4- Non-biodegradable products should not be discharged to the system.
- 5- If it is desired to pump tanks, if possible, pump the tanks during periods of heavy rainfall, or in the winter when evapotranspiration is minimal. This will allow the drainfield to dry while the tank is being refilled.
- 6- If field seeps, it may require enlargement. Actual drainfield performance can not be accurately predicted, considering the many variables mentioned above affecting field performance.
- 7- During freezing weather, if it is necessary to leave faucets dripping, catch water & pour it outside. This is especially important during extended periods of freezing weather.
- 8- If alarm activates, minimize use of the system until an installer can trouble-shoot the problem.
- 9- Also, if alarm activates, and installer is not immediately available, consider pumping the tank(s) to eliminate loading the system.
- 10- Roofs sloping toward drainfield should have gutters to divert runoff.
- 11- It is noted that even though the system may meet all applicable standards with respect to design & installation, no guarantee or warranty is implied nor given with respect to a trouble-free system, given the many variables affecting system performance.

**Tom Partridge, P. E.  
10902 Third St.  
Jonestown, Tx. 78645**

**P. E. #55072  
Firm #F-5812  
Ph: (512) 658-3742  
Email: [topartl140@gmail.com](mailto:topartl140@gmail.com)**

**Date: 9/29/19**

**To: LCRA**

**Re: Beck Residence  
15502 Mary St.  
Volente, Tx. 78641**

**Attached is a septic plan for the referenced location. The basic details of the plan are as follows:**

**Status: Residential - 3 BR, <2500 Sq. Ft. Flow = 300 gpd**

**Septic System: Leaching Chambers**

h+o

hatch + uland owen  
architects

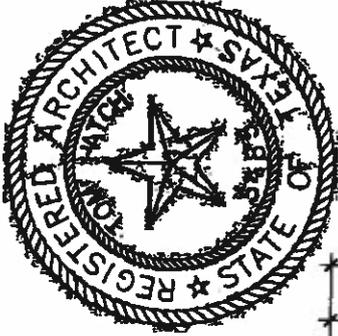
1010 East 11th Street  
Austin, Texas 78702  
T: 512.474.8568  
F: 512.474.8643

www.husanarchitects.com

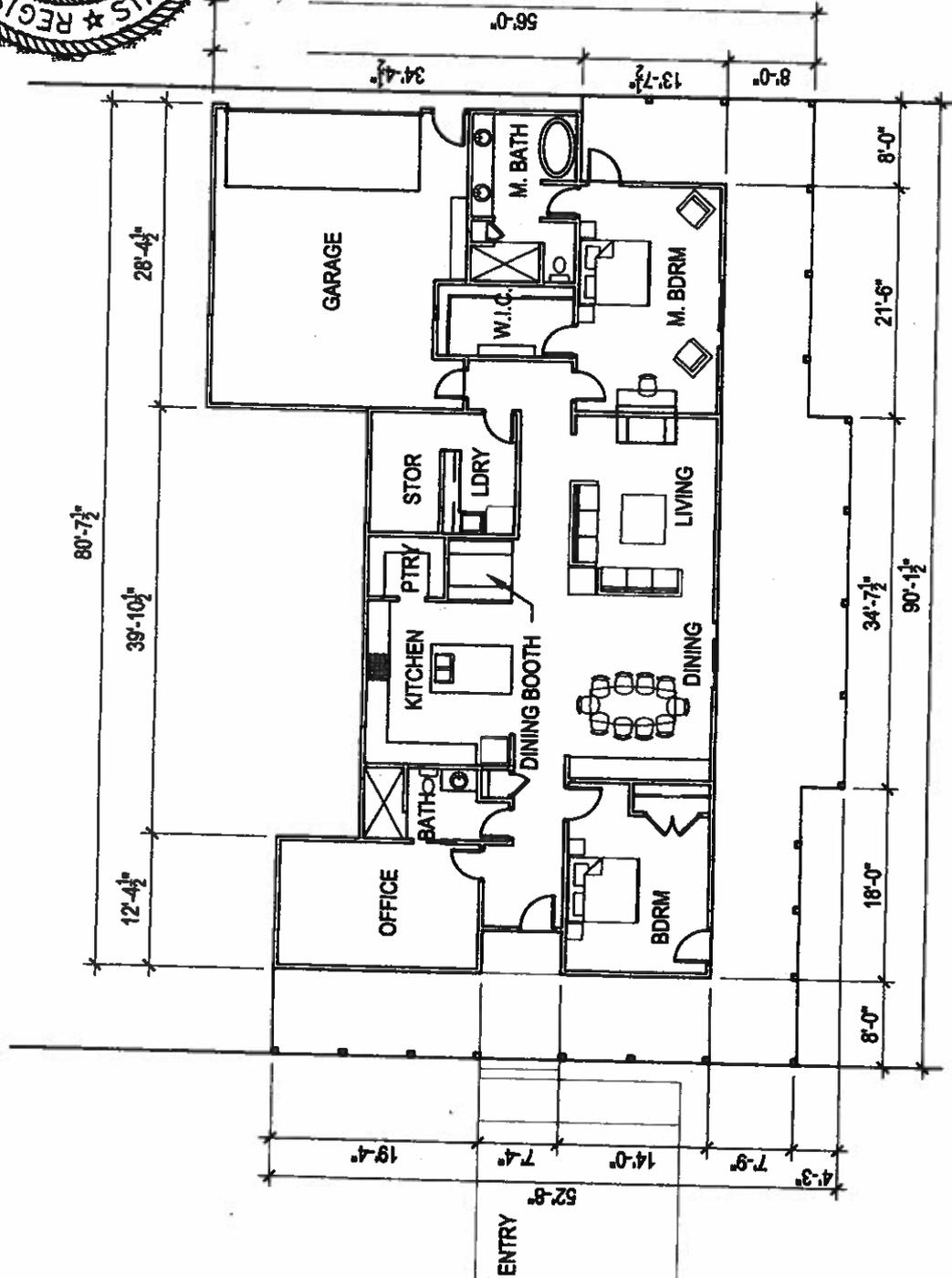
BECK  
RESIDENCE

15502 Mary St.

THIS DOCUMENT IS THE PROPERTY OF HATCH + ULAND OWEN ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HATCH + ULAND OWEN ARCHITECTS. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF HATCH + ULAND OWEN ARCHITECTS.



TOM HATCH 1003716



**BECK RESIDENCE - FLOOR PLAN**

SCALE: 1/16" = 1'-0"



### NEW OR MODIFIED OSSF SYSTEMS

If you are planning on installing a new on-site sewage facility (OSSF) or if you are modifying an existing system on your property, please follow the steps below. Having a complete package will ensure the process will run smoothly. We will need the following information to consider the application package complete. Please include a copy of this checklist when you submit your application package.

New System

Modified System

#### Required Materials

- Completed Application for On-Site Sewage Facilities Authorization to Construction (Form 1101), signed by the property owner and witnessed by a notary public.
- A copy of proof of property ownership in the form of a property deed or tax record.
- A map with directions to the property.
- Scale drawing or survey of the property showing the residence/establishment, easements, driveway, water wells and other permanent improvements to the property. Also show where temporary erosion controls will be placed during construction.
- Cross-sectional diagrams of the treatment units and all disposal areas.
- A copy of the soil evaluation for the property.
- Floor plan of the residence showing all rooms and interior walls, including closets, with dimensions of the heated/cooled square footage of the residence/establishment. The floor plan should be submitted on 11x17-inch tabloid paper or smaller.
- Sizing calculations for the treatment units and all disposal areas. This information can be provided on the plans or a separate work sheet and must include 1) the minimum liquid capacity of the tank or treatment unit based on the Tables II and III of TAC 30 §285.91; 2) the capacity to be provided by the tank or treatment unit; 3) the minimum disposal area required based on Table I TAC 30 §285.91 and §285.33; 4) the disposal area to be provided at the OSSF site; and 5) any supplemental calculations from §285.33 relevant to the proposed disposal system.
- NA  Two sets of drawings of the OSSF are required for any drawings larger than 11x17 inches.
- A copy of the floodplain compliance letter or building/development permit from the appropriate floodplain administrator.
- For lots less than 1 acre, a copy of a recorded plat of the property with all associated plat notes. Provide two copies of the plat or contact our office to arrange to email the plat if the pages are larger than 11x17 inches.
- NA  For surface/drip irrigation, aerobic with disinfection and evapotranspirative (ET) systems, a copy of the executed "Affidavit to the Public" must be submitted after it has been filed with the appropriate county. For surface/drip irrigation, aerobic with disinfection and ET systems, a copy of the executed "Affidavit to the Public" must be submitted after it has been filed with the appropriate county, along with a copy of the executed maintenance contract.
- NA  TCEQ requires the OSSF to be installed on the same lot as the house. If space does not permit, another lot may be used under very specific conditions. Contact LCRA's office for additional submittal requirements.
- The appropriate application fee of \$260 for conventional systems (even if prepared by a registered sanitarian or professional engineer) or \$410 for professionally designed systems (systems identified on TAC 30 §285.91 Table IX as requiring a registered sanitarian or professional engineer design). Refer to the fee schedule for additional fees applicable to commercial systems disposing of more than 500 gallons per day.
- NA  For surface/drip irrigation, aerobic with disinfection and ET systems, a minimum two-year contract with a licensed/certified maintenance provider.

site → Volente  
Mary  
K. L. Cook

**Preparation of Property:** Prior to submitting your application, you must mark the lot to show the following:

- Done* 1 Proposed location of the septic tank, drain field, and house/establishment foundation area.
- 2 The property must be marked with a sign that can be seen from the road and includes the owner's name, address and/or legal description of the property. Information on this notice is used by the inspector when conducting inspections.

*Note* **Variations:** If you are requesting a variance to a rule requirement, please submit a written request prepared by a registered sanitarian (R.S.) or professional engineer (P.E.) stating the rule that cannot be met and demonstrating equivalent or greater protection of public health and environment can be provided with an alternative means with this package. Variances for setback reductions will not be granted if a system that complies with the rules can be installed.

P.O. Box 220 L110, Austin, TX 78767  
 512-578-3216 or 800-776-5272, Ext. 3216  
 Fax 512-578-3501



2643 N. Wirtz Dam Road, Marble Falls, TX 78654  
 Fax 830-693-6242

## SOIL ANALYSIS FOR AN ON-SITE SEWAGE FACILITY

The following information must be submitted with the application package for review by LCRA.  
 Failure to include or address all of the following items may result in approval delays.

Site Information		Site Evaluator	
Name of Owner		Name	Tom Partridge, P.E.
Site Address	15502 Mary St.	Address	10902 3rd St.
City, State, ZIP	Valente, TX 78641	City, State, ZIP	Jewettown, TX 78645
Phone No.	(512) 917-5188	Phone No.	(512) 658-3742
County	Travis	County	Travis

**SITE EVALUATION:** A minimum of two backhoe pits must be excavated at opposite ends of the proposed disposal area. The pits must be excavated to a depth of 2 feet below the proposed excavation, or to a restrictive horizon, whichever is less. The pit locations must be indicated. The site evaluation report shall include a groundwater evaluation, a surface drainage analysis and all applicable minimum separation requirements.

Backhoe Pit No.: PH-1

Depth (Feet)	Soil Class	Gravel Analysis	Restrictive Horizon	Groundwater	Topography	Flood Hazard
0	III	<30%	None	None	<30%	None
1	↓	↓	↓	↓	↓	↓
2	↓	↓	↓	↓	↓	↓
3	↓	↓	↓	↓	↓	↓
4	↓	↓	↓	↓	↓	↓
5	64"	↓	↓	↓	↓	↓

Backhoe Pit No.: PH-2

Depth (Feet)	Soil Class	Gravel Analysis	Restrictive Horizon	Groundwater	Topography	Flood Hazard
0	III	<30%	None	None	<30%	None
1	↓	↓	↓	↓	↓	↓
2	↓	↓	↓	↓	↓	↓
3	↓	↓	↓	↓	↓	↓
4	47"	↓	↓	↓	↓	↓
5						

I certify that the results of this report are based on my site observations and are accurate to the best of my ability.

Site Evaluator Tom Partridge

Date 10/2/19

TOM PARTRIDGE, P. E.  
P.E. 55072, Firm F-5812

**15502 Mary St.**

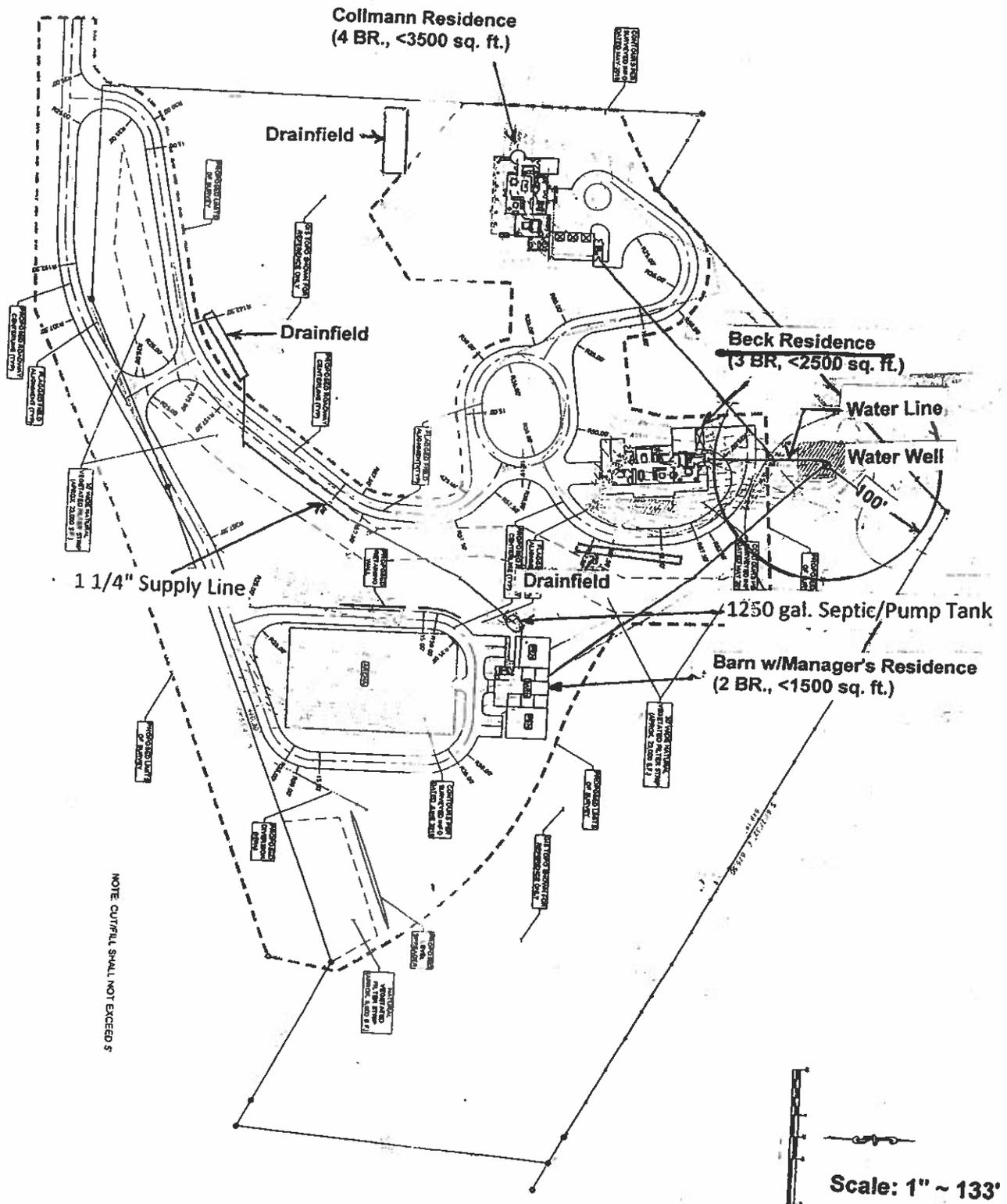
**Pg. 1/6**

Project Description: Existing Residential - 4 BR., <3500 sq. ft. Flow = 300 gpd

Drain-field Size:  $A = Q/Ra = 300/0.2 = 1500$  sq. ft.  
Trench Length =  $[1500 / (3 + 2)] \times 0.75 = 225'$  min.  
Drainfield Area =  $225' \times 5$  sq. ft./ft. = 1125 sq. ft.(min.)  
Install 224' of chambers. Area =  $224' \times 5$  sq. ft./ft. = 1120 sq. ft.  
End caps =  $6.12$  sq. ft./pair of caps  $\times 4$  pair = 24.48 sq. ft.  
Actual area =  $1120 + 24.48 = 1144.48$  sq. ft. >1125 min, thus OK

Tanks: Septic: 1000 gal., 2c

15502 Mary St.  
Pg. 2/6



Scale: 1" ~ 133'

North Scale: 1" = 40'

**System Components**

- 1- Bldg.
- 2- Two way cleanout - additional clean out required every 100' on long pipe runs, & @ 90 deg. bends.
- 3- 3" or 4" Sch. 40 PVC sewer, min. slope 1/8"/ft.
- 4- 750 gal, 2c septic tank, set min. 5' from foundation, surface improvements & drainfield
- 5- 3-4" Sch. 40, PVC supply line w/sufficient slope to provide 12" elevation difference between tank outlet & bottom of first trench
- 6- Each trench to have monitoring port
- 7- Water line - No part of septic to be within 10' of water line, except at slab, but they must separate to 10' as soon as possible. If water & septic lines cross, the crossing shall comply w/ TCEQ Chap. 290.
- 8- Runoff diversion berm
- 9- Silt fence

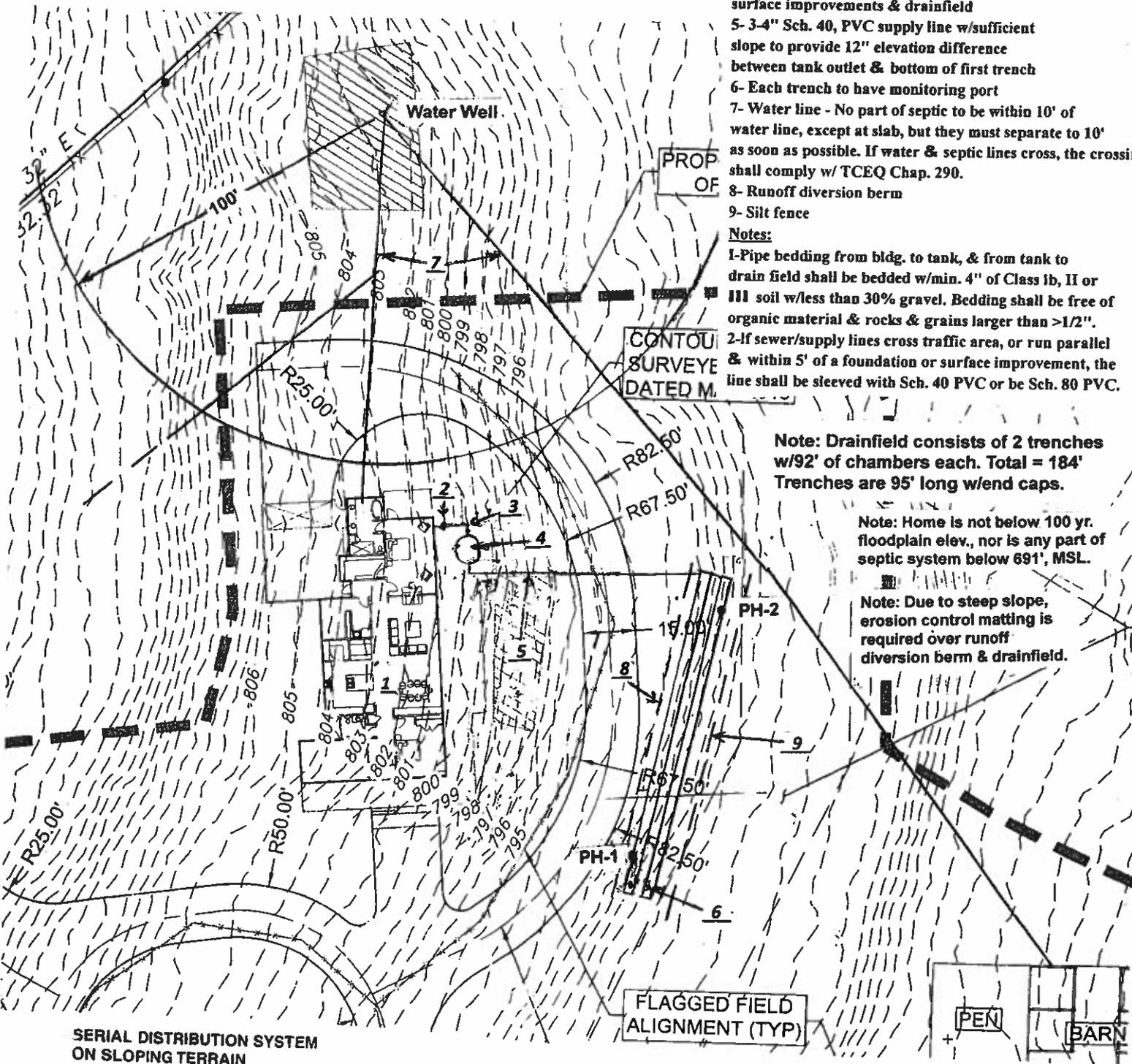
**Notes:**

- 1-Pipe bedding from bldg. to tank, & from tank to drain field shall be bedded w/min. 4" of Class Ib, II or III soil w/less than 30% gravel. Bedding shall be free of organic material & rocks & grains larger than 1/2".
- 2-If sewer/supply lines cross traffic area, or run parallel & within 5' of a foundation or surface improvement, the line shall be sleeved with Sch. 40 PVC or be Sch. 80 PVC.

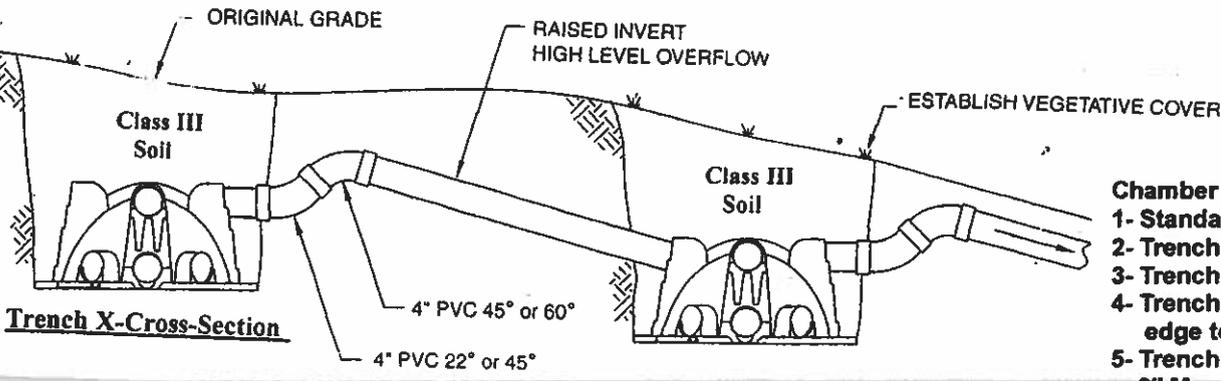
**Note: Drainfield consists of 2 trenches w/92' of chambers each. Total = 184' Trenches are 95' long w/end caps.**

**Note: Home is not below 100 yr. floodplain elev., nor is any part of septic system below 691', MSL.**

**Note: Due to steep slope, erosion control matting is required over runoff diversion berm & drainfield.**

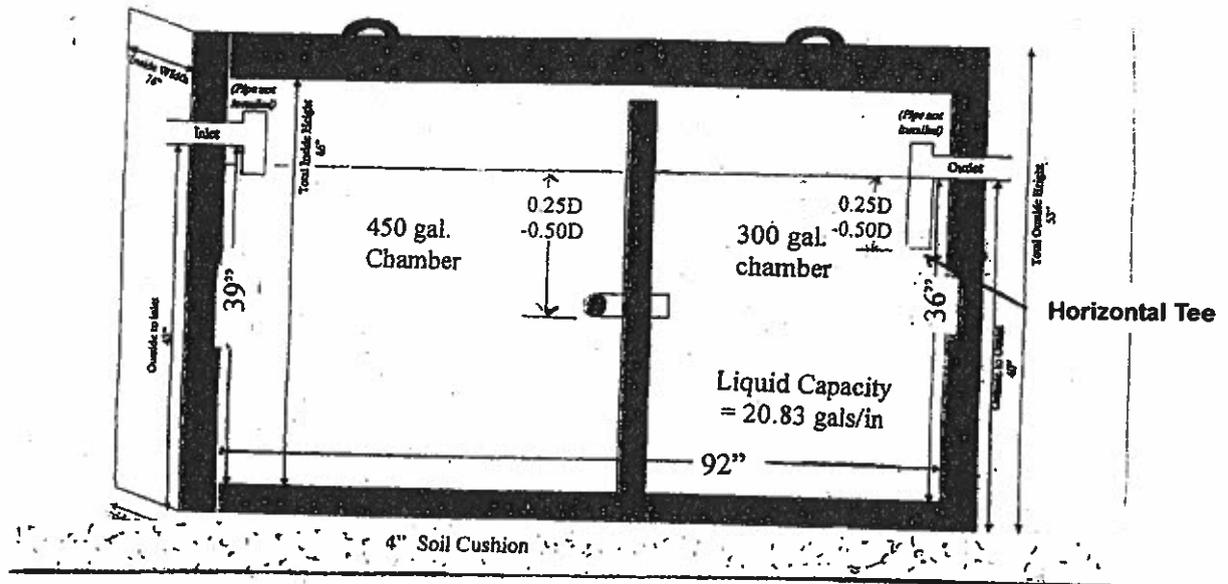


**SERIAL DISTRIBUTION SYSTEM ON SLOPING TERRAIN**



**Chamber Installation Notes:**

- 1- Standard Quik 4 Plus Infiltrat
- 2- Trench Depth - 18-23" Max.
- 3- Trench Width - 36"
- 4- Trench Spacing - 3' min. edge to edge
- 5- Trench Level - 1"/25'



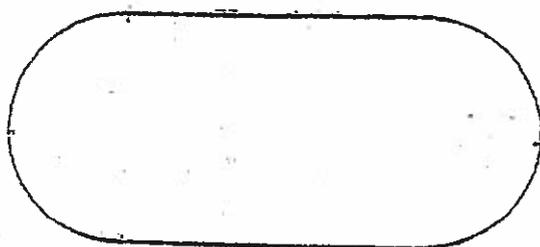
**750 gal., 2c Septic Tank**

**Buchanan Septic Tanks, Inc.**  
P.O. Box 297 • 15648 Hwy. 29 • Buchanan Dam, TX 78609  
512-793-3100 • Fax 512-793-4047

**NOTES:**

- (1) A min. of 4" of sand, sandy loam, clay loam(not recommended) or pea gravel free of rocks larger than pea gravel, to be placed under and around all precast tanks, and sufficiently watered to preclude excessive settlement. Class IV soil and gravel larger than 1/2" are not acceptable. If tanks extend above ground surface, soil can be mounded over tank to maintain slope.
- (2) Tank depth may vary but not exceed 12" unless a riser is installed on any cleanout, and extends to within 6" of ground.
- (3) Tank to be tightness tested with water. Pipe joints, risers and lids to be sealed.
- (4) All inspection cleanout/ports >12" dia shall have risers to ground surface. Riser shall be permanently fastened

to tank lid. The riser lid shall screw down or have a lock or weigh 65 lbs. A secondary plug, cap, netting, etc., or as approved by Authority, shall be provided below the riser lid. Septic tanks are the only tanks that do not require risers to ground surface. However, if they are more than 12" below ground surface, they must have a riser to within 6" of ground surface and the riser must comply with the above. Trash tanks are not considered septic tanks. Only one riser will be required on a pump tank when the pump is placed on the inlet side of the tank. If the pump is placed on the opposite side of the inlet piping, then two risers to ground are required. (5) If a tablet chlorinator is required for inlet to pump tank, a "chlorinator block" can be used to provide direct access for placing tablets.



General Tank Shape

15502 Mary St.

Pg. 5/6

**Installation Notes**

- All piping to be Sch. 40, unless otherwise noted.
  
- The drainfield should be vegetated to promote evapotranspiration & runoff. Seeding should typically be rye for winter & bermuda for summer. The surface should be sloped to drain away precipitation.
  
- If Contractor finds a conflict between Plan & Department Construction Permit, or generally accepted standards/practice, no work should be performed until conflict is resolved.
  
- The Contractor bears all responsibility for actions resulting from interpreting the Plan. If Plan is not clear, the Engineer should be consulted.
  
- The Contractor should not change the Plan significantly w/o expressed approval of Engineer.

15502 Mary St.

Pg. 6/6

### Operation & Maintenance

The performance of a septic system depends upon many factors, including but not limited to, soil type, permeability, depth to rock and/or ground water, season of the year, climate, average waste water flow, waste water loading, and waste water quality. The majority of the soil and ground water conditions in central Texas is not conducive to the successful performance of a septic system, even when the system is designed & installed in accordance w/applicable standards. Therefore, it is highly recommended that the owner/operator adhere to certain practices to enhance & promote successful system performance.

- 1- Water softener discharge should not be discharged to the septic system.
- 2- Healthy grass should be maintained on the drainfield throughout the year. Generally, bermuda is recommended for summer, and rye for winter.
- 3- The permitted waste water daily flow rate should never be exceeded. If this is occurring, likely sources include excessive loading from showering & laundry washing, leaky plumbing, and faulty toilet tank. Heavy waste water loading should be avoided. Continuous & successive loads of washing is discouraged. Wash at non-peak hours if possible, such as mid morning, afternoons, and late evening. Long showers are discouraged. If possible, route grey water to separate disposal area.
- 4- Non-biodegradable products should not be discharged to the system.
- 5- If it is desired to pump tanks, if possible, pump the tanks during periods of heavy rainfall, or in the winter when evapotranspiration is minimal. This will allow the drainfield to dry while the tank is being refilled.
- 6- If field seeps, it may require enlargement. Actual drainfield performance can not be accurately predicted, considering the many variables mentioned above affecting field performance.
- 7- During freezing weather, if it is necessary to leave faucets dripping, catch water & pour it outside. This is especially important during extended periods of freezing weather.
- 8- If alarm activates, minimize use of the system until an installer can trouble-shoot the problem.
- 9- Also, if alarm activates, and installer is not immediately available, consider pumping the tank(s) to eliminate loading the system.
- 10- Roofs sloping toward drainfield should have gutters to divert runoff.
- 11- It is noted that even though the system may meet all applicable standards with respect to design & installation, no guarantee or warranty is implied nor given with respect to a trouble-free system, given the many variables affecting system performance.

P.O. Box 220 S-204P, Austin, TX 78767  
512-578-3216 or 800-776-5272, Ext.  
3216 Fax 512-578-3501



2643 N. Wirtz Dam Road, Marble Falls, TX 78654  
Fax 830-693-6242

23935  
Septic

### LCRA ON-SITE SEWAGE FACILITIES PROGRAM FLOODPLAIN COMPLIANCE ACKNOWLEDGEMENT

LCRA's On-Site Sewage Facilities (OSSF) Rules require applicants to document compliance with applicable flood damage prevention regulations or documentation that such regulations are not applicable to this property.

**This documentation must accompany the application for an LCRA on-site sewage facility construction permit.**

Property owner: Thistle Dew Ranch  
Site address: 15502 MARY ST  
Legal description of property: LOT 14 & PT OF VAC YANTI ST LAKE TRAVIS SUBD NO. 5  
City (if applicable): VOLENTE  
County: TRAVIS COUNTY  
Development Permit No.: \_\_\_\_\_

This documentation verifies that the applicant has complied with flood damage prevention regulations as described within the National Flood Insurance Act of 1968, 82 Stat. 572, 42 U.S.C.A.

NANNUS AKINLEYE  
Floodplain Administrator  
Nanette Akinleye on Behalf of

1/9/2020  
Date

VILLAGE OF VOLENTE (Name of permitting authority) (Permitting authority will check applicable notes)

No development shall occur until a V.O.V. permit has been issued and posted.  
(Name of permitting authority)

\_\_\_\_\_ To remain in compliance, a completed elevation certificate must be returned to \_\_\_\_\_ within \_\_\_\_\_ days of the first floor's completion.  
(Name of permitting authority)

\_\_\_\_\_ Replacement of OSSF only.

\_\_\_\_\_ By law, the minimum finished floor elevation (FFE) of any habitable structure on Lake Travis must be at least 1 foot above the Federal Emergency Management Agency floodplain of 722 feet above mean sea level (feet msl). All new habitable structures must have an FFE of at least 723 feet msl.

2020 - Values not available

**Account**

Property ID: 175197  
Geographic ID: 0170500101  
Type: Real  
Property Use Code:  
Property Use Description:  
Legal Description: LOT 14 & PT OF VAC YANTI ST LAKE TRAVIS SUBD NO 5  
Zoning:  
Agent Code:

**Protest**

Protest Status:  
Informal Date:  
Formal Date:

**Location**

Address: 15502 MARY ST TX 78641  
Neighborhood: Volente  
Neighborhood CD: T1000  
Mapsco:  
Map ID: 016757

**Owner**

Name: KJB INVESTMENTS II LLC  
Mailing Address: DBA THISTLE DEW RANCH LLC  
15911 BOOTH CIR  
VOLENTE, TX 78641-9679  
Owner ID: 1793171  
% Ownership: 100.0000000000%

**Exemptions:**

(+) Improvement Homesite Value:	+	N/A	
(+) Improvement Non-Homesite Value:	+	N/A	
(+) Land Homesite Value:	+	N/A	
(+) Land Non-Homesite Value:	+	N/A	Ag / Timber Use Value
(+) Agricultural Market Valuation:	+	N/A	N/A
(+) Timber Market Valuation:	+	N/A	N/A
<hr/>			
(=) Market Value:	=	N/A	
(-) Ag or Timber Use Value Reduction:	-	N/A	
<hr/>			
(=) Appraised Value:	=	N/A	
(-) HS Cap:	-	N/A	
<hr/>			
(=) Assessed Value:	=	N/A	

Owner: KJB INVESTMENTS II LLC  
% Ownership: 100.0000000000%

Total Value: N/A

Entity	Description	Tax Rate	Appraised Value	Taxable Value	Estimated Tax
03	TRAVIS COUNTY	N/A	N/A		
0A	TRAVIS CENTRAL APP DIST	N/A	N/A	N/A	N/A
2J	TRAVIS COUNTY HEALTHCARE DISTRICT	N/A	N/A	N/A	N/A
5G	VILLAGE OF VOLENTE	N/A	N/A	N/A	N/A
68	AUSTIN COMM COLL DIST	N/A	N/A	N/A	N/A
69	LEANDER ISD	N/A	N/A	N/A	N/A
71	TRAVIS CO ESD NO 14	N/A	N/A	N/A	N/A
Total Tax Rate:		N/A	N/A	N/A	N/A

Taxes w/Current Exemptions: N/A  
 Taxes w/o Exemptions: N/A

No improvements exist for this property.

#	Type	Description	Acres	Sqft	Eff Front	Eff Depth	Market Value	Prod. Value
1	LAND	Land	9.0000	392040.00	0.00	0.00	N/A	N/A

Year	Improvements	Land Market	Ag Valuation	Appraised	HS Cap	Assessed
2020	N/A	N/A	N/A	N/A	N/A	N/A
2019	\$0	\$366,081	0	366,081	\$0	\$366,081
2018	\$0	\$366,081	0	366,081	\$0	\$366,081
2017	\$0	\$333,000	0	333,000	\$0	\$333,000
2016	\$0	\$315,000	0	315,000	\$0	\$315,000
2015	\$0	\$315,000	0	315,000	\$0	\$315,000

#	Deed Date	Type	Description	Grantor	Grantee	Volume	Page	Deed Number
1	2/1/2019	WD	WARRANTY DEED	SCHMITT THOMAS JAMES	KJB INVESTMENTS II LLC			2019015982
2	10/27/2015	SW	SPECIAL WARRANTY DEED	MORENO MARK J II & ALLISON	SCHMITT THOMAS JAMES			2015177694
3	7/30/2015	WD	WARRANTY DEED	SCHMITT THOMAS JAMES	MORENO MARK J II & ALLISON			2015122099

**Re: Fw: Floodplain Compliance Acknowledgement for 15502 Mary St**

Marc Dickey <marc.dickey@gmail.com>

Thu 1/9/2020 11:37 AM

To: City Secretary <City.Secretary@volentetexas.gov>

Hello Nanette,

Sorry for the late reply, I'm in New Mexico this week.

For Ken's letter you can just sign it. We just need to check the line that says "no development shall occur..."

if I remember correctly, this lot is not in the 100-year floodplain.

Thank you,

Marc Dickey

On Wed, Jan 8, 2020 at 3:35 PM City Secretary <[City.Secretary@volentetexas.gov](mailto:City.Secretary@volentetexas.gov)> wrote:

Hello Marc Dickey,

I called and left you a message I just wanted to know the status of Ken Becks compliance letter. He emailed today for an update. Thank you.

Very Respectfully,  
Nanette Akinleye

Acting City Secretary

Village of Volente

512.250.2075

[city.secretary@volentetexas.gov](mailto:city.secretary@volentetexas.gov)

<http://www.villageofvolente-tx.gov/>

Please note that any correspondence, such as e-mail or letters, sent to Village officials, staff, board, or commission may become a public record and made available for public/media review.

**ATTENTION PUBLIC OFFICIALS:**

A "Reply to All" of this e-mail could lead to violations of the Texas Open Meetings Act.

Please reply only to the sender.

**From:** City Secretary

**Sent:** Monday, January 6, 2020 5:11 PM

**To:** Marc Dickey <[marc.dickey@gmail.com](mailto:marc.dickey@gmail.com)>

**Subject:** Floodplain Compliance Acknowledgement for 15502 Mary St

Hello Marc,

Please see the attached documents for Ken Beck. Please let me know if you need any other supporting documents. Thank you in advance.

Very Respectfully,  
Nanette Akinleye

Acting City Secretary  
Village of Volente  
512.250.2075

[city.secretary@volentetexas.gov](mailto:city.secretary@volentetexas.gov)

<http://www.villageofvolente-tx.gov/>

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Please reply only to the sender.**

**Account**

Property ID: 175197  
 Geographic ID: 0170500101  
 Type: Real  
 Property Use Code:  
 Property Use Description:  
 Legal Description: LOT 14 & PT OF VAC YANTI ST LAKE TRAVIS SUBD NO 5  
 Zoning:  
 Agent Code:

**Protest**

Protest Status:  
 Informal Date:  
 Formal Date:

**Location**

Address: 15502 MARY ST TX 78641  
 Mapsco:  
 Neighborhood: Volente  
 Map ID: 016757  
 Neighborhood CD: T1000

**Owner**

Name: KJB INVESTMENTS II LLC  
 Mailing Address: DBA THISTLE DEW RANCH LLC  
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 VOLENTE, TX 78641-9679  
 Owner ID: 1793171  
 % Ownership: 100.0000000000%

**Exemptions:**

(+) Improvement Homesite Value:	+	N/A	
(+) Improvement Non-Homesite Value:	+	N/A	
(+) Land Homesite Value:	+	N/A	
(+) Land Non-Homesite Value:	+	N/A	Ag / Timber Use Value
(+) Agricultural Market Valuation:	+	N/A	N/A
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<hr/>			
(=) Market Value:	=	N/A	
(-) Ag or Timber Use Value Reduction:	-	N/A	
<hr/>			
(=) Appraised Value:	=	N/A	
(-) HS Cap:	-	N/A	
<hr/>			
(=) Assessed Value:	=	N/A	

Owner: KJB INVESTMENTS II LLC  
 % Ownership: 100.0000000000%

Total Value: N/A

Entity	Description	Tax Rate	Appraised Value	Taxable Value	Estimated Tax
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2J	TRAVIS COUNTY HEALTHCARE DISTRICT	N/A	N/A	N/A	N/A
5G	VILLAGE OF VOLENTE	N/A	N/A	N/A	N/A
68	AUSTIN COMM COLL DIST	N/A	N/A	N/A	N/A
69	LEANDER ISD	N/A	N/A	N/A	N/A
71	TRAVIS CO ESD NO 14	N/A	N/A	N/A	N/A
	Total Tax Rate:	N/A		N/A	N/A

Taxes w/Current Exemptions: N/A  
 Taxes w/o Exemptions: N/A

No improvements exist for this property.

#	Type	Description	Acres	Sqft	Eff Front	Eff Depth	Market Value	Prod. Value
1	LAND	Land	9.0000	392040.00	0.00	0.00	N/A	N/A

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#	Deed Date	Type	Description	Grantor	Grantee	Volume	Page	Deed Number
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3	7/30/2015	WD	WARRANTY DEED	SCHMITT THOMAS JAMES	MORENO MARK J II & ALLISON			2015122099







# Working Sketch Thistle Dew Ranch Subdivision

Laura Dyke Jackson  
Called 46.98 Acres  
Volume 12702, Page 1205  
R.P.R.T.C.

Laura Dyke Jackson  
Called 46.98 Acres  
Volume 12702, Page 1205  
R.P.R.T.C.



Bearings cited hereon  
based on grid north Texas  
State Plane Coordinate  
System Central Zone  
(NAD83)



[S 61°07'00" E 78.11']  
S 62°19'01" E  
78.09'

1/2 inch iron rod  
with red cap  
"JOM" found

3/4 inch  
I.D. pipe  
found

[N 01°28'08" E 540.46']  
540.46'

Lot 13C  
Resubdivision Of  
Lot 12 And 13,  
Lake Travis  
Subdivision No. 5,  
Document No.  
200500159,  
O.P.R.T.C.

Lot 13B  
Resubdivision Of Lot  
12 And 13, Lake  
Travis Subdivision No.  
5,  
200500159,  
O.P.R.T.C.

188.87'  
S 86°43'44" W  
[S 87°56'50" 188.80" W]

This Working Sketch of 10.23 acres, as designated by the client, combines a previously re-subdivided lot (Lot 13C) with a portion of another previously platted lot (Lot 14). The lot configuration as shown hereon may be subject to: Texas Local Government Code Chapter 212, Municipal Regulation Of Subdivisions And Property Development; Texas Local Government Code Chapter 232, County Regulation of Subdivisions; Tarrant County Subdivision Regulations and/or other local subdivision regulations. This Working Sketch is not intended to be used in violation of said Codes and Regulations. Walker Texas Surveys recommends that the involved parties consult with legal counsel and with the appropriate governmental agencies to insure compliance with said Codes and Regulations, and to avoid and/or mitigate any future problems that may arise concerning existing platted lot lines.

**Lot 1  
10.23 Ac**

Portion of Lot 14  
Lake Travis Subdivision No. 5,  
Volume 4, Page 81,  
P.R.T.C.,

(N 70°42' E 446.60')

[S 12°06'58" E 5.08']  
N 13°20'00" W  
5.23'

180.10'  
S 64°10'11" W 180.33']

○ D.R.T.C.

● R.P.R.T.C.

● O.R.T.C.

● P.R.T.C.

● O.P.R.T.C.

{XXXXX} Denotes record data per Volume 4, Page 81, P.R.T.C.

{XXXXX} Denotes record data per Doc. No 200500159 O.P.R.T.C.

{XXXXX} Denotes record data per Doc. No 2019193617 O.P.R.T.C.

[N 04°43'21" E 280.40']  
280.40'

Travis County  
Called 56.077 Acres  
Document Number 2018120682  
O.P.R.T.C.

Denota Investments, LLC  
Called 0.30 Acre  
Document No. 2019193617  
O.P.R.T.C.

Preliminary, this document shall not  
be recorded for any purpose and  
shall not be used or viewed or  
relied upon as a final survey  
document.  
This document is a "Working Sketch"  
to show project progress.

Brett A. Butts, RPLS #6254  
Release Date January 9, 2020

Sheet 1 of 1

1/2 inch iron rod with yellow cap inscribed "WALKER 5283" set

1/2 inch I.D. pipe found (unless otherwise noted)

1/2 inch iron rod with cap inscribed "JOM" found

1/2 inch iron rod found (unless otherwise noted)

Deed Records Travis County

Real Property Records Travis County

Official Records Travis County

Plot Records Travis County

Official Public Records Travis County

Denotes record data per Volume 4, Page 81, P.R.T.C.

Denotes record data per Doc. No 200500159 O.P.R.T.C.

Denotes record data per Doc. No 2019193617 O.P.R.T.C.



**WALKER**  
**TEXAS SURVEYORS**

P.O. Box 324

Cedar Park, Texas 78630-0324

Phone (512) 259-3361

TBPLS Firm #10103800

Job #540001









# Working Sketch Thistle Dew Ranch Subdivision

Laura Dyke Jackson  
Called 46.98 Acres  
Volume 12702, Page 1205  
R.P.R.T.C.

Laura Dyke Jackson  
Called 46.98 Acres  
Volume 12702, Page 1205  
R.P.R.T.C.



Laura Dyke Jackson  
Called 46.98 Acres  
Volume 12702, Page 1205  
R.P.R.T.C.

800' not found in concrete  
S 61°07'00" E 78.11'  
S 62°19'01" E 78.09'  
N 45°48'32" E 382.32'  
N 45°48'32" E 382.17'

3/4 inch I.D. pipe found  
1/2 inch iron rod with red cap - "JOM" found  
N 01°28'08" E 540.46'  
N 00°15'42" E 540.46'

**Lot 1  
10.23 Ac**

Portion of Lot 14  
Lake Travis Subdivision No. 5,  
Volume 4, Page 81,  
P.R.T.C.,

Lot 13B  
Resubdivision Of Lot  
12 And 13, Lake  
Travis Subdivision No.  
5, Document No.  
200500159,  
O.P.R.T.C.

Lot 13C  
Resubdivision Of  
Lot 12 And 13,  
Lake Travis  
Subdivision No. 5,  
Document No.  
200500159,  
O.P.R.T.C.

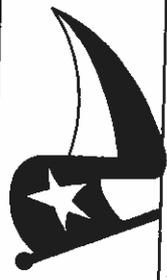
Travis County  
Called 56.077 Acres  
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Brett A. Butts, RPLS #6254  
Release Date January 9, 2020

Sheet 1 of 1



**WALKER**  
TEXAS SURVEYORS  
P.O. Box 324  
Cedar Park, Texas 78630-0324  
Phone (512) 259-3361  
TBPLS Firm #10103800  
Job #540001

- 1/2 inch iron rod with yellow cap inscribed "WALKER 5283" set
- 1/2 inch I.D. pipe found (unless otherwise noted)
- 1/2 inch iron rod with cap inscribed "JOM" found
- 1/2 inch iron rod found (unless otherwise noted)
- Deed Records Travis County
- Real Property Records Travis County
- Official Records Travis County
- Plat Records Travis County
- Official Public Records Travis County
- Denotes record data per Volume 4, Page 81, P.R.T.C.
- [XXXXX] Denotes record data per Doc. No 200500159 O.P.R.T.C.
- [XXXXX] Denotes record data per Dec. No 2019193617 O.P.R.T.C.

This Working Sketch of 10.23 acres, as designated by the client, combines a previously re-subdivided lot (Lot 13C) with a portion of another previously platted lot (Lot 14). The lot configuration as shown hereon may be subject to Texas Local Government Code Chapter 212 Municipal Regulation of Subdivisions And Property Development; Texas Local Government Code Chapter 232 County Regulation of Subdivisions; Travis County Subdivision Regulations and/or other local subdivision regulations. This Working Sketch is not intended to be used in violation of said Codes and Regulations. Walker Texas Surveyors recommends that the involved parties consult with legal counsel and with the appropriate governmental agencies to insure compliance with said Codes and Regulations, and to avoid and/or mitigate any future problems that may arise concerning existing platted lot lines.

1/10/2020

Beck Home

23935



1/10/2020 10:29:22 AM

Owner:

Paid By:

**Permit Type**

Permit Type	Type Amount Paid	Type Amount Due
OSSF - Conventional System	\$250.00	\$0.00
OSSF - State TCEQ Septic Fee	\$10.00	\$0.00
<b>Total</b>	<b>\$260.00</b>	<b>\$0.00</b>

**Payments**

Payment ID	Payment Date	Payment Type	Description	Ref. Number	Amount
3111036	01/10/2020	Check - Walk-In	PAID BY KENNETH AND JOYCE BECK	4488	\$260.00
<b>Total</b>					<b>\$260.00</b>

**THIS IS NOT A PERMIT.** This receipt does not authorize you to begin construction of your project

**Date:**

**To: Tom Schmitt  
15502 Mary Street  
Volente, TX 78641**

**From: Village of Volente  
11601 Wharf Cove  
Volente, TX 78641**

**Re: Application for Conditional Use Permit for 15502 Mary Street**

After review by Planning and Zoning on January 8, 2019, and review and vote by Village Council on January 15, 2019, this Conditional Use Permit is granted to Tom Schmitt, owner of the property at 15502 Mary Street, Volente, TX 78641 with the following provisions:

1. Permission is granted for up to 8 (eight) horses and or donkeys to be kept on this property.
2. This Conditional Use Permit will transfer as is with the purchase of this property by Thistle Dew Ranch LLC, owned by Gwen and Dean Collmann, and Ken and Joyce Beck.
3. During the development and construction permitting process, plans must be submitted and approved for effective mitigation and control of run-off from the property into the drainage draw that merges with the Gun Hollow draw at the edge of Highway 2769, Gun Hollow draw having been designated as "Waters of the U.S".

Yours truly,

City Secretary, Village of Volente

Date:

To: Tom Schmitt  
15502 Mary Street  
Volente, TX 78641

From: Village of Volente  
11601 Wharf Cove  
Volente, TX 78641

Re: Application for Conditional Use Permit for 15502 Mary Street

After review by Planning and Zoning on January 8, 2019, and review and vote by Village Council on January 15, 2019, this Conditional Use Permit is granted to Tom Schmitt, owner of the property at 15502 Mary Street, Volente, TX 78641 with the following provisions:

1. Permission is granted for up to 8 (eight) horses and or donkeys to be kept on this property.
2. This Conditional Use Permit will transfer as is with the purchase of this property by Thistle Dew Ranch LLC, owned by Gwen and Dean Collmann, and Ken and Joyce Beck.
3. During the development and construction permitting process, plans must be submitted and approved for effective mitigation and control of run-off from the property into the drainage draw that merges with the Gun Hollow draw at the edge of Highway 2769, Gun Hollow draw having been designated as "Waters of the U.S".

Yours truly,

City Secretary, Village of Volente